



GENERAL REQUIREMENTS

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, AS LOCALLY AMENDED, AND ALL APPLICABLE CODES & ORDINANCES.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWING, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- DO NOT USE SCALED DIMENSIONS. USE WRITTEN DIMENSIONS. WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- REMOVE ALL MATERIALS RESULTING FROM DEMOLITION WORK FROM THE SITE IN SUCH A MANNER AS TO AVOID CREATING A NUISANCE. STOCKPILE ANY SALVAGED ITEMS PER OWNER'S REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE OR DISPOSE OF ALL SALVAGED ITEMS TO AN OFF SITE PROPERTY LOCATION.
- THE CONTRACTOR OR SUBCONTRACTOR SHALL INSPECT THE PREMISES PRIOR TO COMMENCING WORK TO CHECK EXISTING WORKING CONDITIONS. SHOULD CONTRACTOR OR SUBCONTRACTOR FIND CONDITIONS WHICH HE BELIEVES WOULD IMPED HIS WORK, THEN SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO SO ADVISE WILL CONSTITUTE NOTICE THAT THE CONTRACTOR IS FULLY SATISFIED AND THAT HE INTENDS TO PERFORM HIS OBLIGATIONS WITH NO ALLOWANCE EITHER IN TIME OR MONEY FOR ANY IMPEDIMENTS TO HIS WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. IF DIMENSIONAL ERRORS OCCUR, OR CONDITIONS NOT COVERED ON THE DRAWINGS IS ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- DETAILS, NOTES AND FINISHES SHALL BE APPLICABLE TO ALL TYPICAL CONDITIONS, WHETHER OR NOT REFERENCED AT ALL PLACES. WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGES THROUGHOUT CONSTRUCTION. HE SHALL MEET THE LATEST REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND COMPLY WITH: THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; ALL APPLICABLE SAFETY AND SANITARY LAWS, REGULATIONS AND ORDINANCES, AND ANY SAFETY RULES OR PROCEDURES ESTABLISHED BY THE ARCHITECT AND/OR THE OWNER FOR THE PROJECT.
- THE CONTRACTOR IS EXCLUSIVELY RESPONSIBLE FOR LOSS OR EXPENSE RESULTING FROM INJURY ON THE PROJECT SITE. HE ASSUMES ALL RISKS IN THE PERFORMANCE OF THE WORK AND IS RESPONSIBLE FOR SUPERVISION, MATERIALS, EQUIPMENT AND LABOR REQUIRED TO IMPLEMENT THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SUPERVISION, SAFETY, ADMINISTRATION AND ALL PHASES OF ITS CONTRACT. HE IS ALSO RESPONSIBLE FOR SCHEDULING, COORDINATING, MANAGEMENT AND ADMINISTRATION OF SUB-CONSULTANTS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES AND PROTECT THEM.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREAFTER SPECIFIED TO THE CONTRARY.
- ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER, ACCEPTABLE TO THE ARCHITECT.
- UNLESS OTHERWISE SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL PAY FOR ALL FEES, PERMITS, ETC. NECESSARY FOR PROPER COMPLETION OF WORK (U.N.O.). THE CONTRACTOR SHALL FILE ALL APPLICATIONS REQUIRED AND PROCURE ALL PERMITS.
- THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFERIOR OR NON-CONFORMING WORK OR MATERIALS WILL BE ACCEPTED. WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER FINAL ACCEPTANCE. IF REQUIRED BY THE OWNER OR ARCHITECT, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT.
- THE WARRANTIES AND GUARANTEES PROVIDED IN THE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY OR GUARANTY OR REMEDY REQUIRED BY LAW OR BY THE CONSTRUCTION DOCUMENTS.
- THE ARCHITECT'S AND ENGINEER'S OBSERVATION FOR COMPLIANCE WITH THE PLANS AND SPECIFICATIONS SHALL NOT BE DEEMED SUPERVISION OR CONTROL OF CONSTRUCTION MEANS OR METHODS EMPLOYED BY THE CONTRACTOR OR ANY SUBCONTRACTOR.
- PROVIDE WOOD BLOCKING SUPPORT AT ALL SURFACE MOUNTED ITEMS MOUNTED TO FACE OF GYPSUM WALLBOARD WALLS.
- CAULK ALL JUNCTURES BETWEEN DIFFERENT MATERIALS.

GREEN VALLEY RECREATION CENTER WEST CENTER'S NEW OFFICES

TENANT IMPROVEMENT

1111 SOUTH GVR DRIVE • GREEN VALLEY, ARIZONA 85614

CODE REVIEW

SUMMARY OF GOVERNING REGULATIONS				
CODE	TITLE	EDITION	LOCAL AMENDMENTS	
BUILDING CODE	IBC	2018		YES
EXISTING BUILDING CODE	IEBC	2018		YES
ACCESSIBILITY CODE	ICC/ANSI A117.1	2017		YES
MECHANICAL CODE	IMC	2018		YES
ELECTRICAL CODE	NEC	2017		YES
PLUMBING CODE	IPC	2018		YES
FIRE CODE	IFC	2018		YES
ENERGY CONSERVATION CODE	IECC	2018		YES

GENERAL BUILDING SUMMARY (FOR REFERENCE)					
BUILDING	OCCUPANCY GROUP(S)	TYPE OF CONSTRUCTION	SPRINKLER SYSTEM	BUILDING AREA/HEIGHT/ NO. OF STORIES	BUILDING AREA/HEIGHT/ NO. OF STORIES
				REQUIRED	ACTUAL
EXISTING BLDG.	A-2 ASSEMBLY (NOT IN SCOPE OF WORK)	IIB	YES	38,000 SQ. FT. 75'-0" HIGH 3 STORIES	± 673 SQ. FT. ± 28'-0" HIGH 1 STORY
	A-3 ASSEMBLY (NOT IN SCOPE OF WORK)	IIB	YES	38,000 SQ. FT. 75'-0" HIGH 3 STORIES	± 16,573 SQ. FT. ± 28'-0" HIGH 2 STORIES
	B BUSINESS (EXIST SERVICES THIS PROJECT)	IIB	YES	69,000 SQ. FT. 75'-0" HIGH 4 STORIES	± 754 SQ. FT. ± 28'-0" HIGH 1 STORY

PROJECT DIRECTORY

ARCHITECT

SEAVER / FRANKS ARCHITECTS INC, AIA
2552 NORTH ALVERNON WAY
TUCSON, ARIZONA 85712
(520) 795-4000 CONTACT: RICHARD HUCH

MECHANICAL / PLUMBING ENGINEER

KC MECHANICAL ENGINEERING, LLC
5447 EAST FIFTH STREET - SUITE 112
TUCSON, ARIZONA 85711
(520) 327-7611 CONTACT: RUBY O'BRIEN-METZGER
PABLO ZAMORA

ELECTRICAL ENGINEER

CC ELECTRICAL CONSULTING, LLC
5551 SOUTH WHITE MOUNTAIN ROAD - SUITE 2538
SHOW LOW, ARIZONA 85901
(602) 400-1792 CONTACT: JEFFREY CLARK

SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT INVOLVES THE REMODEL OF THE EXISTING LOBBY SPACE TO NEW OFFICE SPACES AT THE GREEN VALLEY RECREATION CENTER'S WEST CENTER'S BUILDING. INCLUDED IN THE SCOPE OF THIS WORK WILL BE ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK AS REQUIRED.

DEFERRED SUBMITTALS

- FIRE SPRINKLERS

SPECIAL INSPECTIONS

- NONE

SHEET INDEX

ARCHITECTURAL

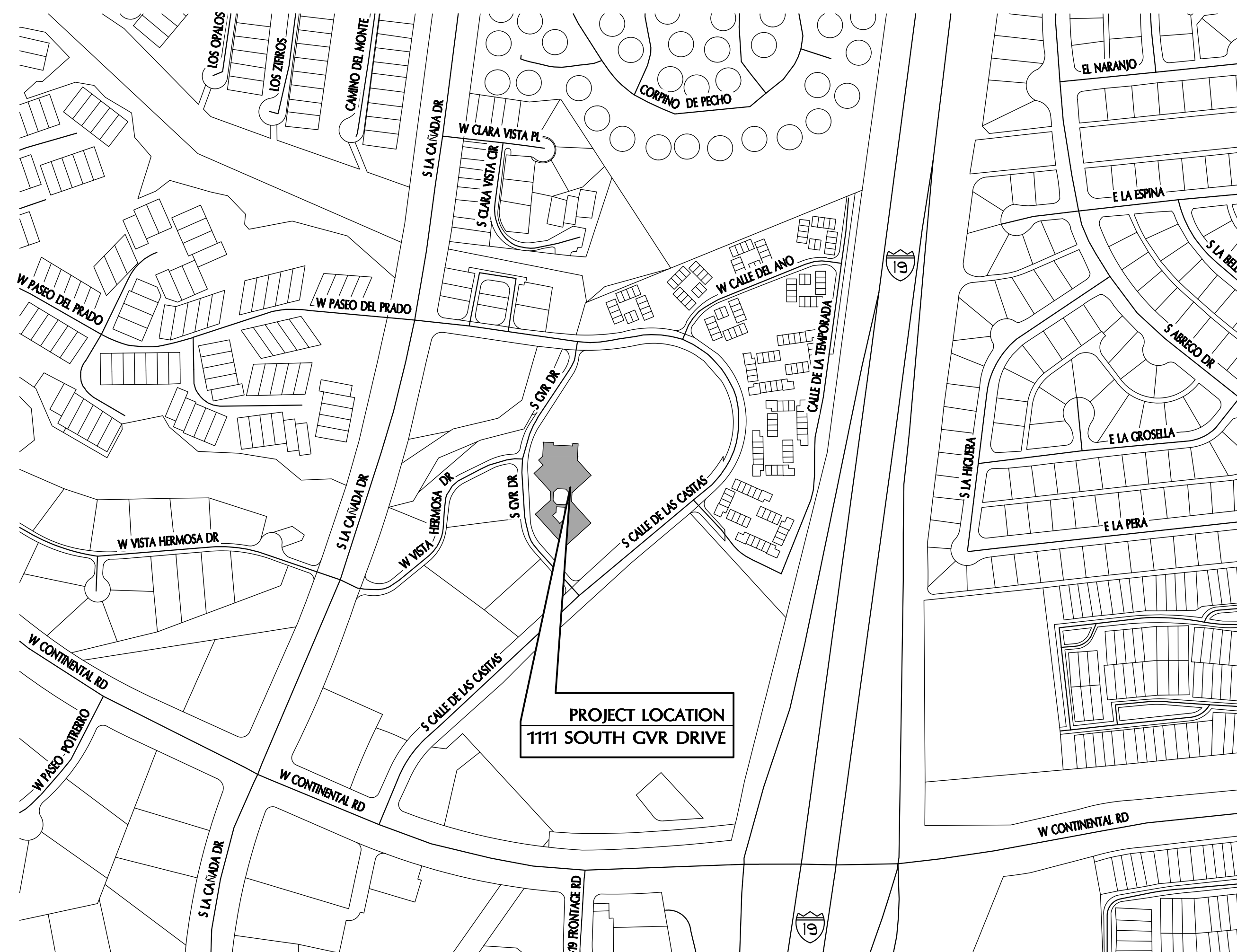
- A0.0 GENERAL INFORMATION
- A10 OVERALL EXIT PLAN
- D2.0 DEMOLITION FLOOR PLAN AND DEMOLITION CEILING PLAN
- A2.0 REFERENCE FLOOR PLAN AND REFLECTED CEILING PLAN
- A3.0 ENLARGED PLAN AND INTERIOR ELEVATIONS
- A4.0 GENERAL AND ACCESSIBILITY DETAILS
- A5.0 DOOR/WINDOW TYPES, DETAILS, AND DOOR/FINISH SCHEDULES

MECHANICAL

- MD1.0 MECHANICAL DEMOLITION PLAN
- M1.0 MECHANICAL NEW WORK PLANS
- M2.0 MECHANICAL SCHEDULES & DETAILS
- MP1.0 DIVISION 15 SPECIFICATIONS
- PD1.0 PLUMBING DEMO PLAN

ELECTRICAL

- ED1.0 ELECTRICAL DEMO PLANS
- E1.0 ELECTRICAL POWER AND LIGHTING PLAN
- E2.0 COMCHECK AND PANEL SCHEDULE
- E3.0 ELECTRICAL SPECIFICATIONS



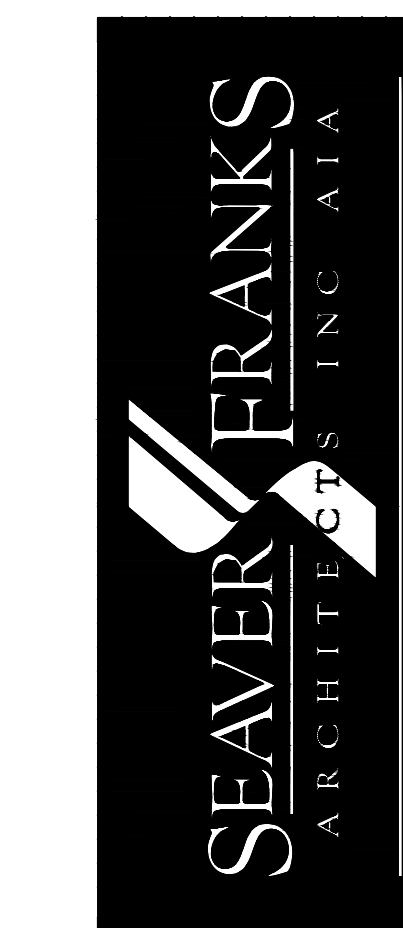
LOCATION MAP

SCALE: NTS



REVISIONS NO. DATE
PLAN REVIEW 11/20/2024

NEW OFFICES - TENANT IMPROVEMENT
GENERAL INFORMATION

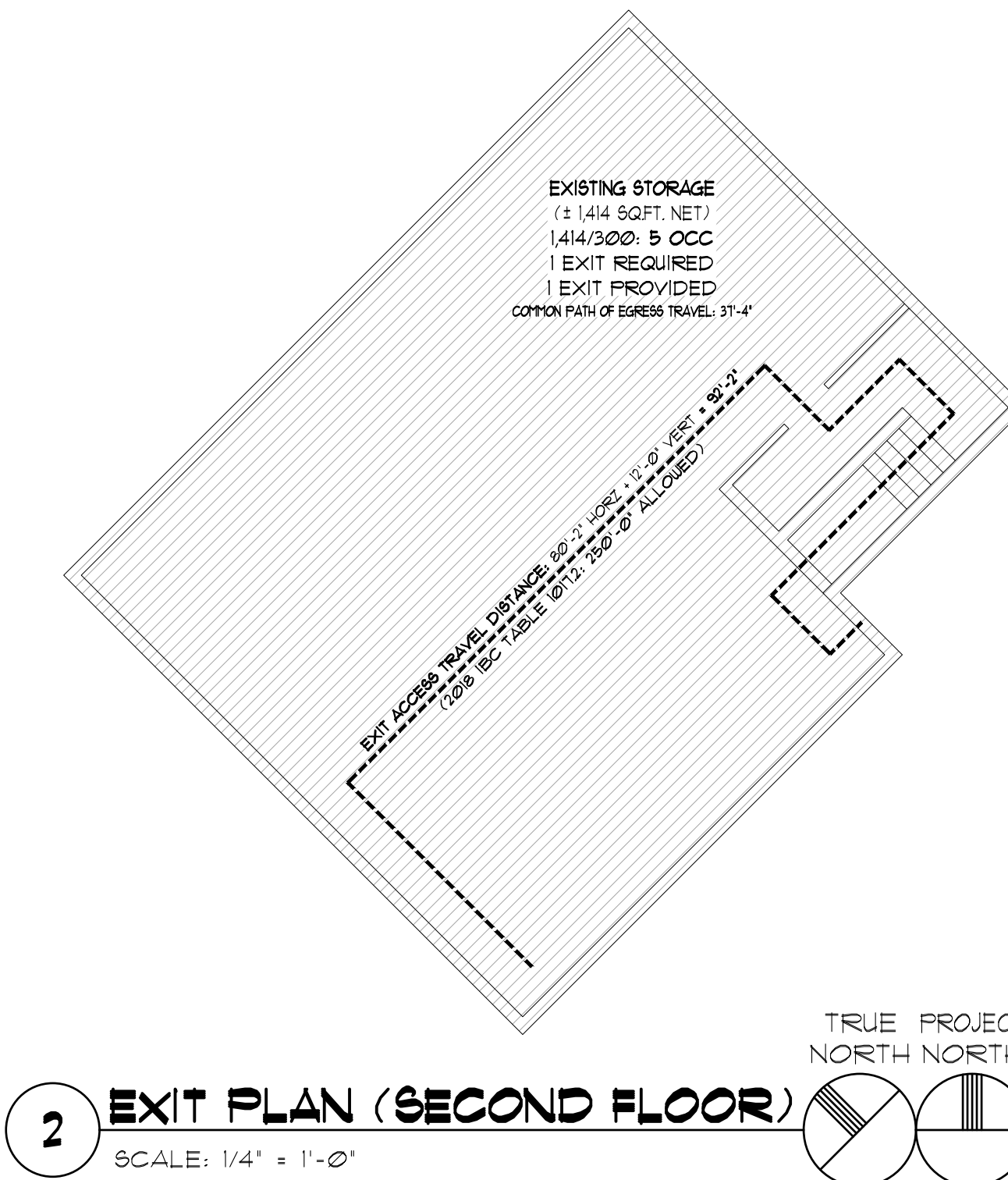


GREEN VALLEY RECREATION CENTER
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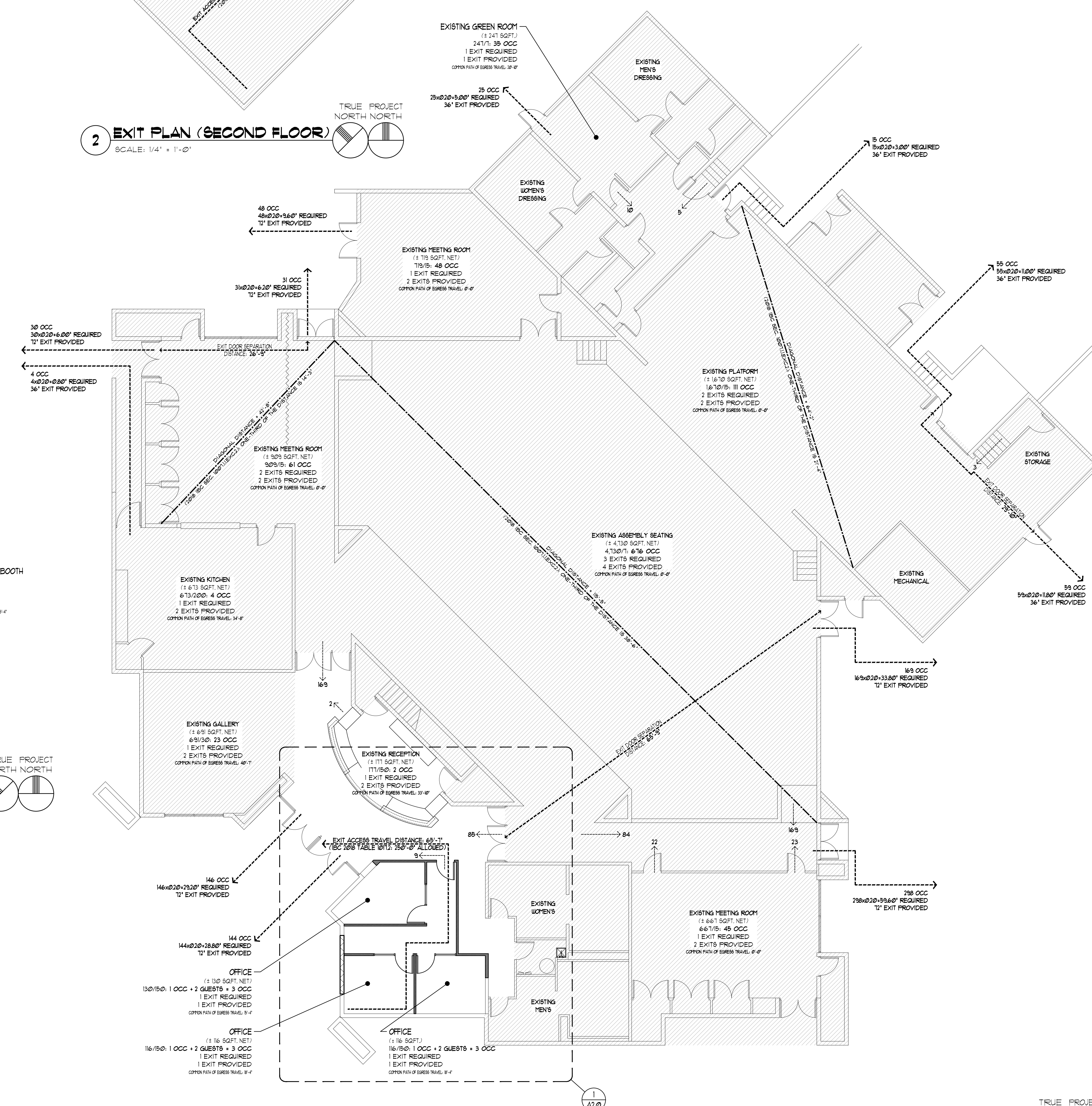
ISSUE DATE 08-30-2024
PROJ. NO. 3709.11
DRG. SCALE AS NOTED

SHEET

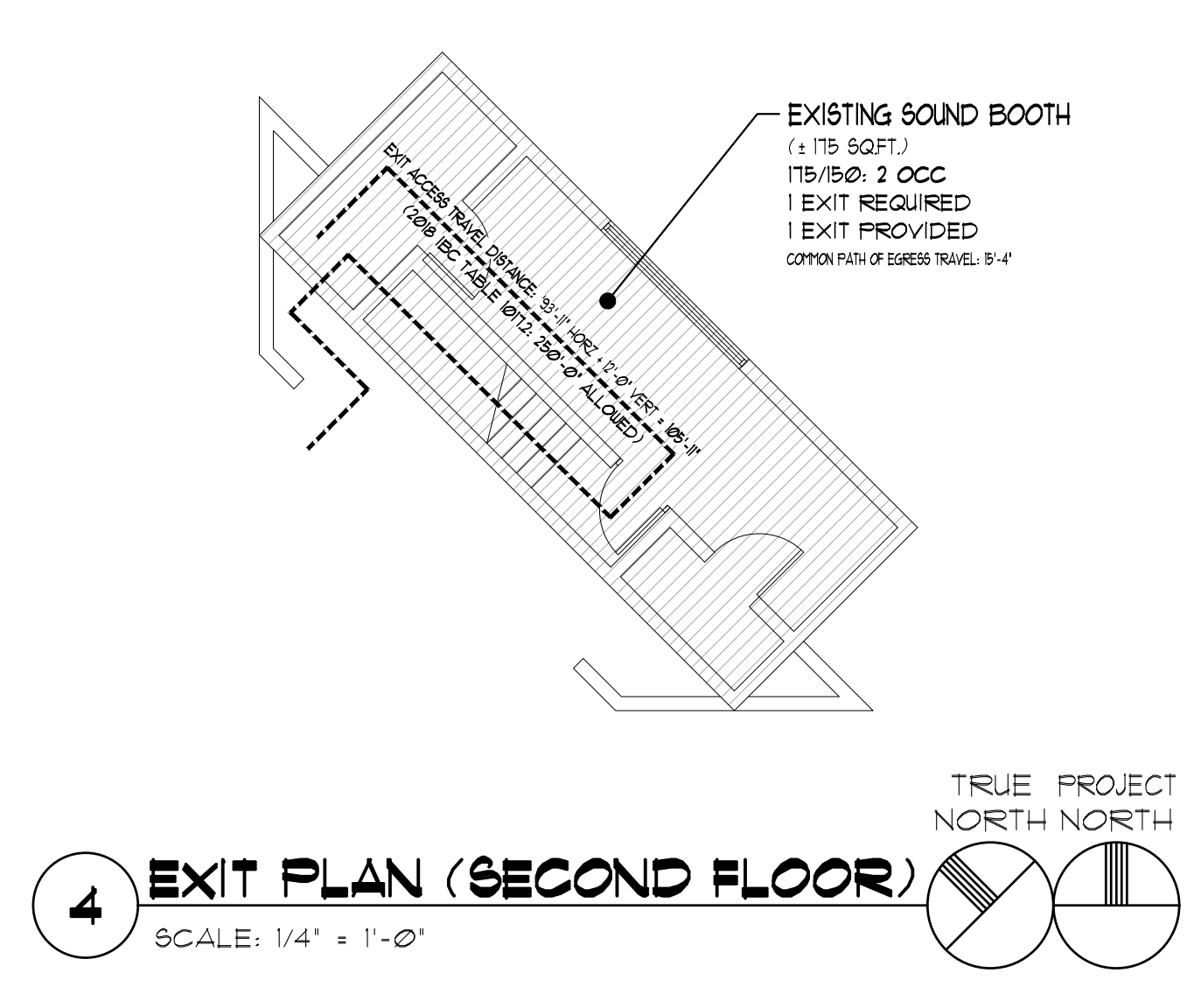
A0.0



2 EXIT PLAN (SECOND FLOOR)
 SCALE: 1/4" = 1'-0"



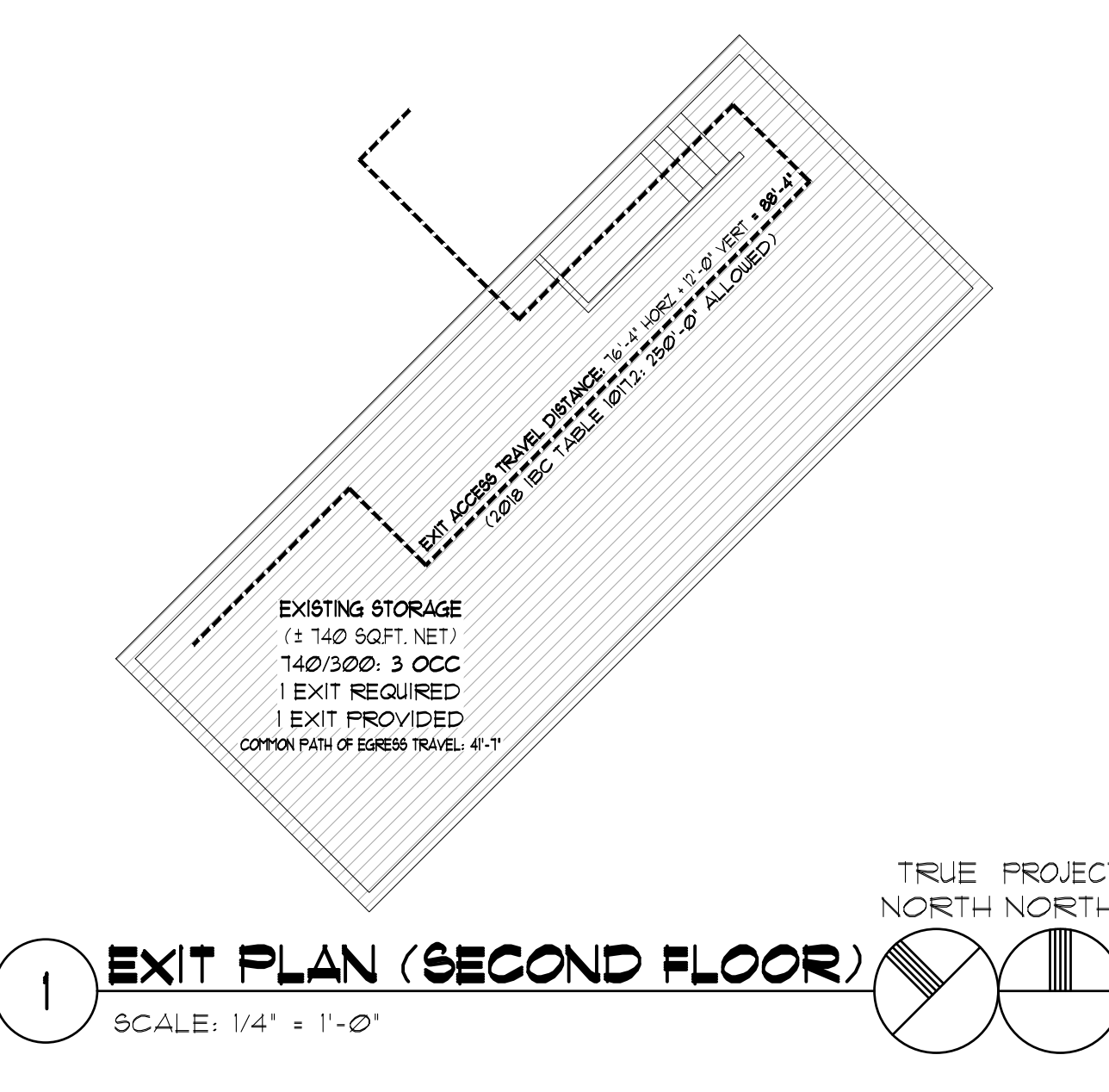
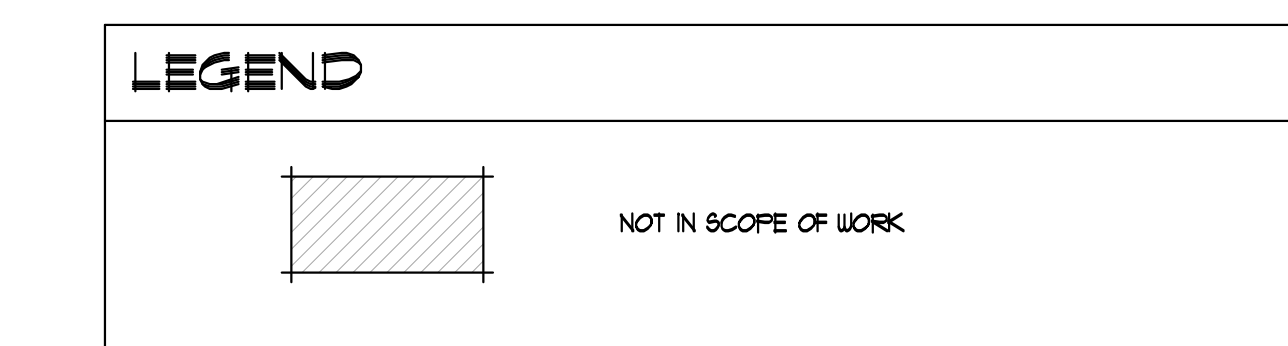
3 OVERALL EXIT PLAN (GROUND FLOOR) (TOTAL OCCUPANCY: 2+5+3+9+2+23+4+6+1+40+35+11+16+16+45 = 1024 OCCUPANTS)
 SCALE: 1/4" = 1'-0"



4 EXIT PLAN (SECOND FLOOR)
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
- PROVIDE BACKING AS REQUIRED FOR ALL WALL MOUNTED EQUIPMENT - SEE DETAIL 11/A.4.0.
- ALL FURNITURE TO BE FURNISHED AND INSTALLED BY OWNER.
- REFER TO THE FINISH MATERIAL DESCRIPTION TABLE ON SHEET A5.0 FOR FINISHES SPECIFICATIONS.



1 EXIT PLAN (SECOND FLOOR)
 SCALE: 1/4" = 1'-0"

NEW OFFICES - TENANT IMPROVEMENT OVERALL EXIT PLAN



GREEN VALLEY RECREATION CENTER 1111 SOUTH GVR DRIVE GREEN VALLEY, ARIZONA 85614

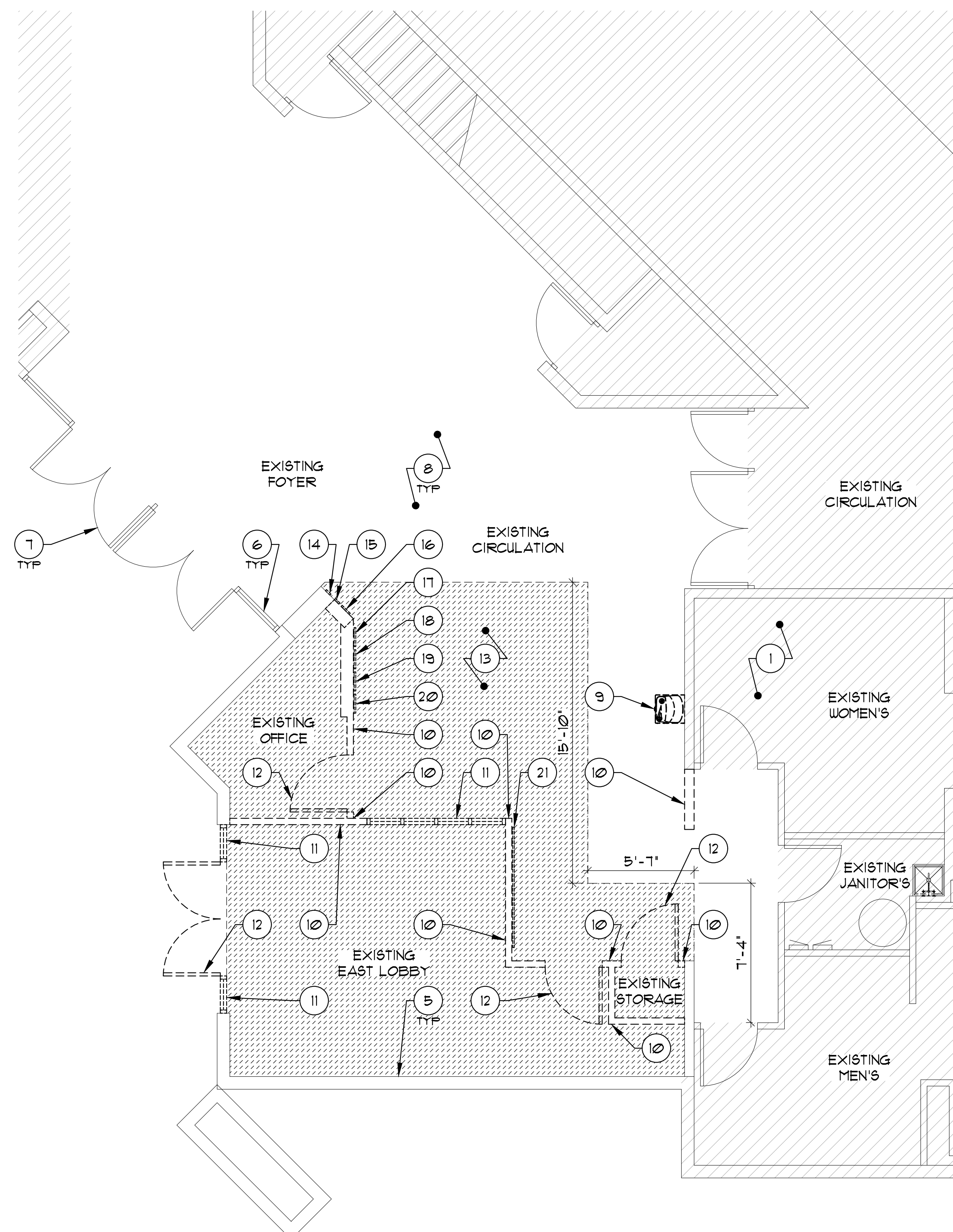
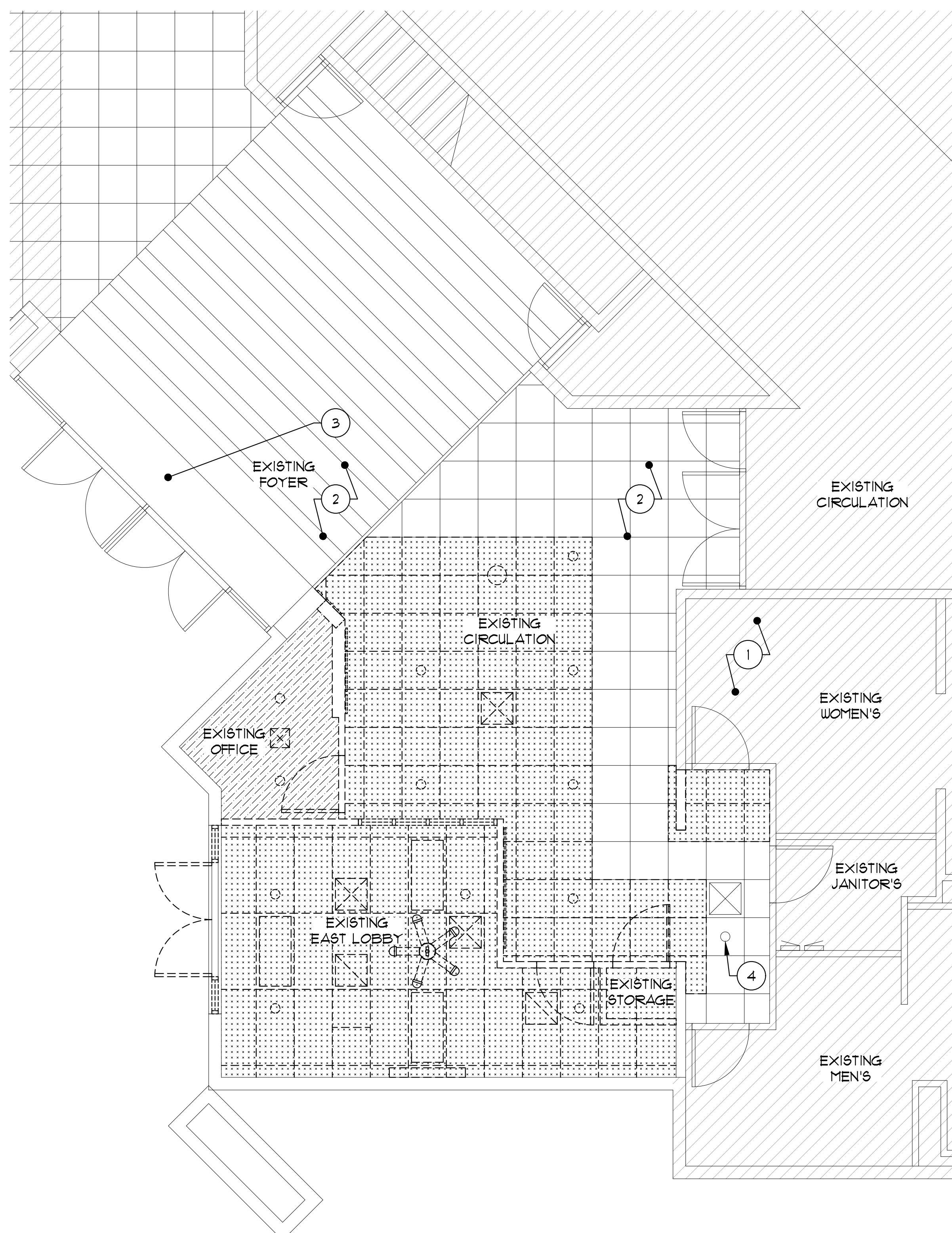
ISSUE DATE 08-30-2024
 PROJ. NO. 3709.11
 DRG. SCALE AS NOTED

GENERAL NOTES

- A. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
- B. REMOVE ANY EXISTING ACOUSTICAL CEILING TILE THAT MAY BE DAMAGED - VERIFY WITH OWNER PRIOR REMOVAL/DISPOSAL OF ANY TILE.
- C. REMOVE ANY FLOORING AS REQUIRED.

DEMOLITION PLAN KEYNOTES

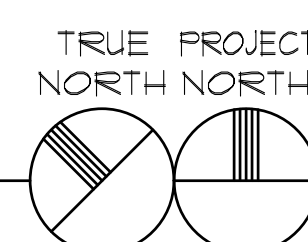
1. THIS AREA NOT IN SCOPE OF WORK.
2. EXISTING CEILING TO REMAIN.
3. EXISTING SOFFIT TO REMAIN.
4. EXISTING LIGHT FIXTURE TO REMAIN.
5. EXISTING WALL TO REMAIN.
6. EXISTING STOREFRONT SYSTEM TO REMAIN.
7. EXISTING DOOR TO REMAIN.
8. EXISTING FLOORING FINISH TO REMAIN.
9. EXISTING DRINKING FOUNTAIN TO BE REMOVED.
10. EXISTING WALL TO BE REMOVED.
11. EXISTING WINDOW TO BE REMOVED.
12. EXISTING DOOR TO BE REMOVED.
13. EXISTING FLOORING FINISH TO BE REMOVED.
14. EXISTING FIRE ALARM FULL STATION TO BE REMOVED AND RELOCATED.
15. EXISTING WALL PLAQUE TO BE REMOVED AND RELOCATED.
16. EXISTING LIGHT SWITCHES TO BE REMOVED AND RELOCATED.
17. EXISTING FIRE EXTINGUISHER CABINET TO BE REMOVED AND RELOCATED.
18. EXISTING WALL MOUNTED BOX TO BE REMOVED AND RELOCATED.
19. EXISTING SECURITY ALARM PANEL TO BE REMOVED AND RELOCATED.
20. EXISTING DEFIBRILLATOR BOX TO BE REMOVED AND RELOCATED.
21. EXISTING BULLETIN BOARD TO BE REMOVED AND RELOCATED.



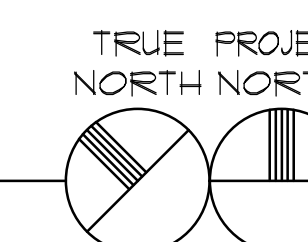
RCP LEGEND	
	EXISTING SUPPLY AIR DIFFUSER TO REMAIN
	EXISTING RETURN AIR GRILLE TO REMAIN
	EXISTING RETURN AIR GRILLE TO BE REMOVED
	EXISTING 2'x4' ACOUSTICAL CEILING TILE IN EXISTING GRID CEILING WITH EXISTING 2'x4' LIGHT FIXTURE TO BE REMOVED AND REPLACED
	EXISTING 2'x4' ACOUSTICAL CEILING TILE IN EXISTING GRID CEILING TO BE REMOVED AND REPLACED
	EXISTING RECESSED CAN TO BE REMOVED AND RELOCATED
	EXISTING SPEAKER TO BE REMOVED AND RELOCATED
	EXISTING FAN TO BE REMOVED AND SALVAGED

NOTES:
 • SEE ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE SCHEDULE.

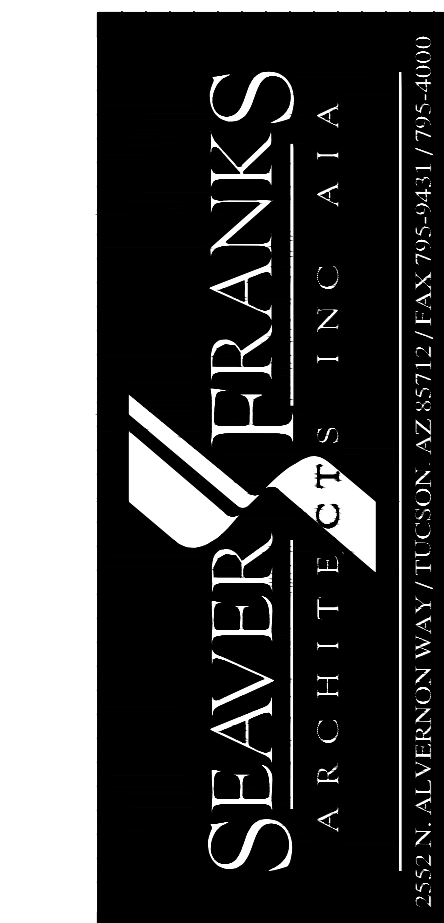
2 DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



**NEW OFFICES - TENANT IMPROVEMENT
 DEMOLITION FLOOR PLAN
 AND DEMOLITION CEILING PLAN**



**GREEN VALLEY RECREATION CENTER
 1111 SOUTH GVR DRIVE
 GREEN VALLEY, ARIZONA 85614**

ISSUE DATE 08-30-2024
 PROJ. NO. 3709.11
 DRG. SCALE AS NOTED

SHEET

D2.0

GENERAL NOTES

- A. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE BACKING AS REQUIRED FOR ALL WALL MOUNTED EQUIPMENT - SEE DETAIL 11/A4.0.
- C. ALL FURNITURE TO BE FINISHED AND INSTALLED BY OWNER.
- D. REFER TO THE FINISH MATERIAL DESCRIPTION TABLE ON SHEET A5.0 FOR FINISHES SPECIFICATIONS.

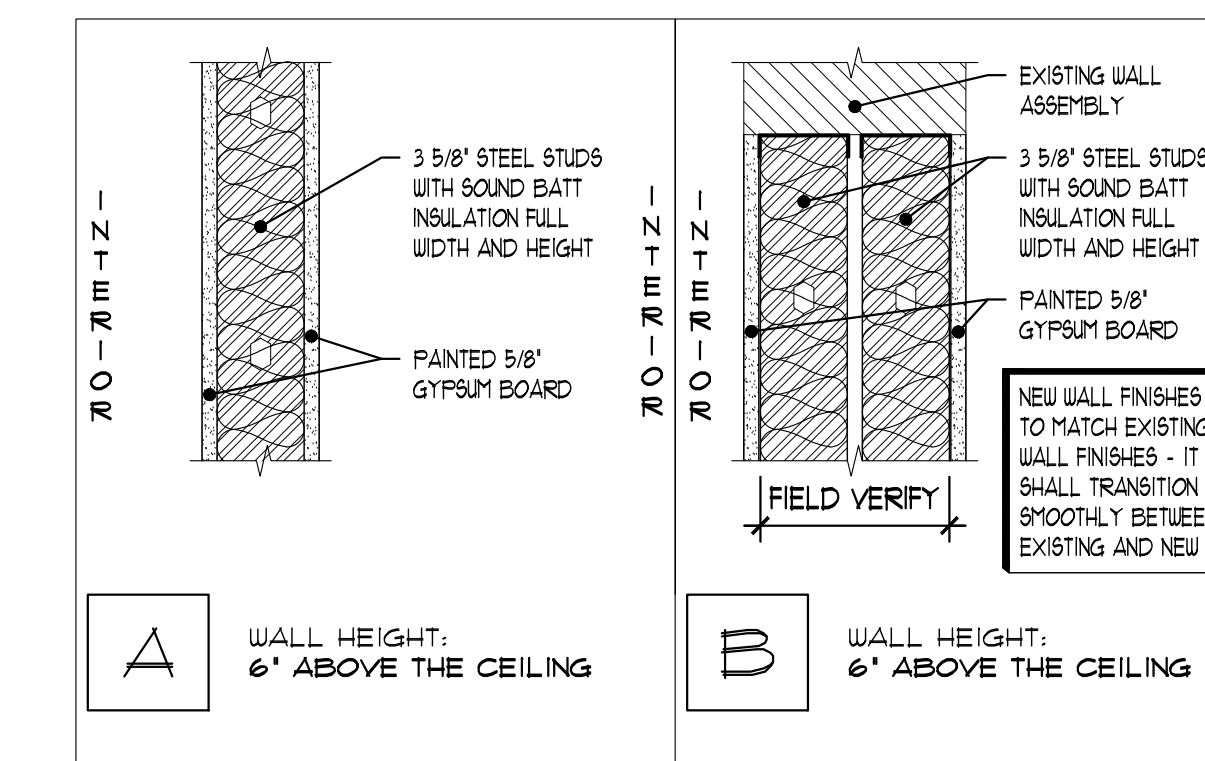

 EXPIRES 12-31-26
REVISIONS
 NO. DATE

PLAN KEYNOTES

1. INFILL OPENING WITH CONCRETE MASONRY UNITS AND MATCH THE EXISTING EXTERIOR AND INTERIOR FINISH.
2. NEW FURNITURE BY OWNER.
3. NEW FLOORING WHERE EXISTING WALL USED TO BE.
4. NEW FLOORING - REFER TO FINISH SCHEDULE ON SHEET A5.0.

WALL TYPES

SCALE: 1-1/2" = 1'-0"

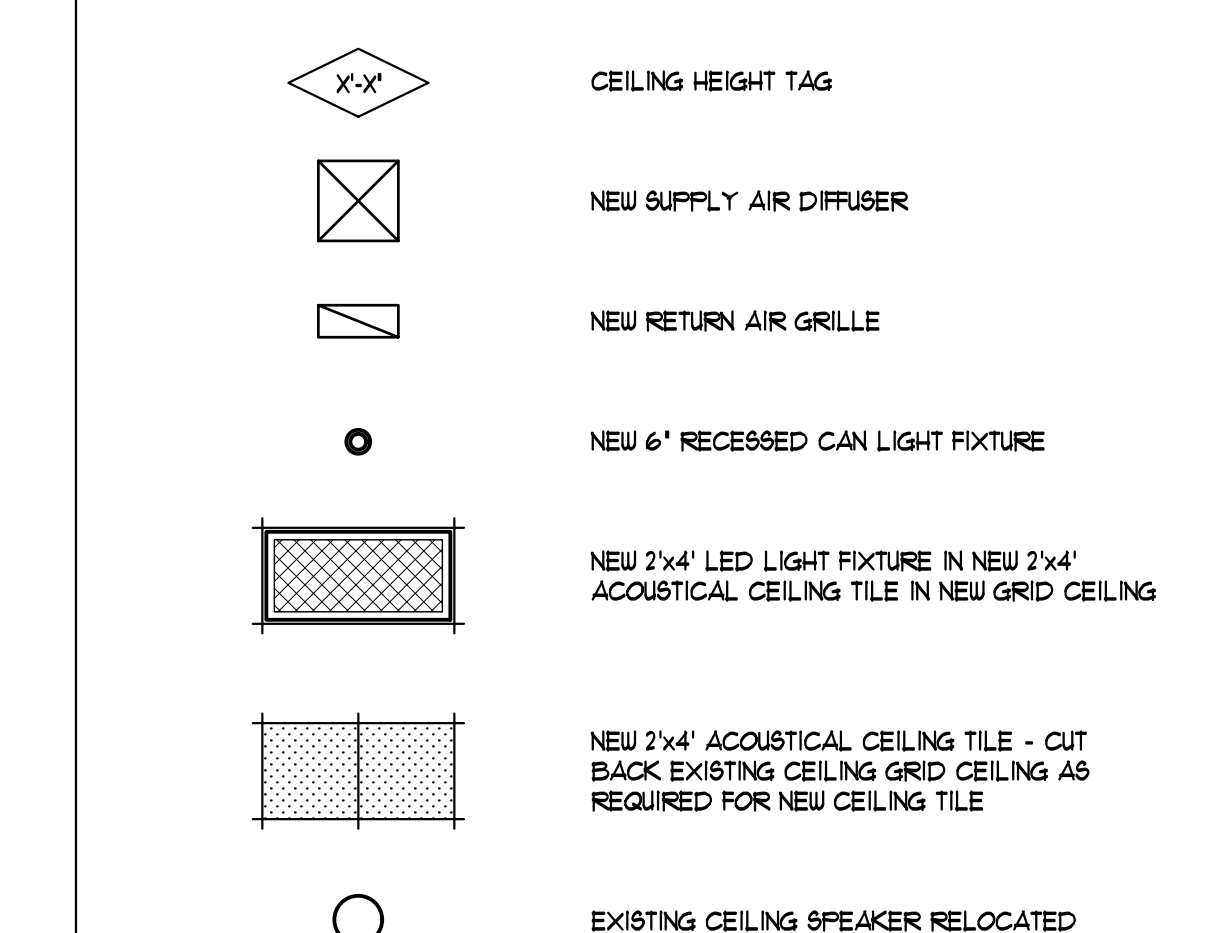


PARTITION SIZE TABLE

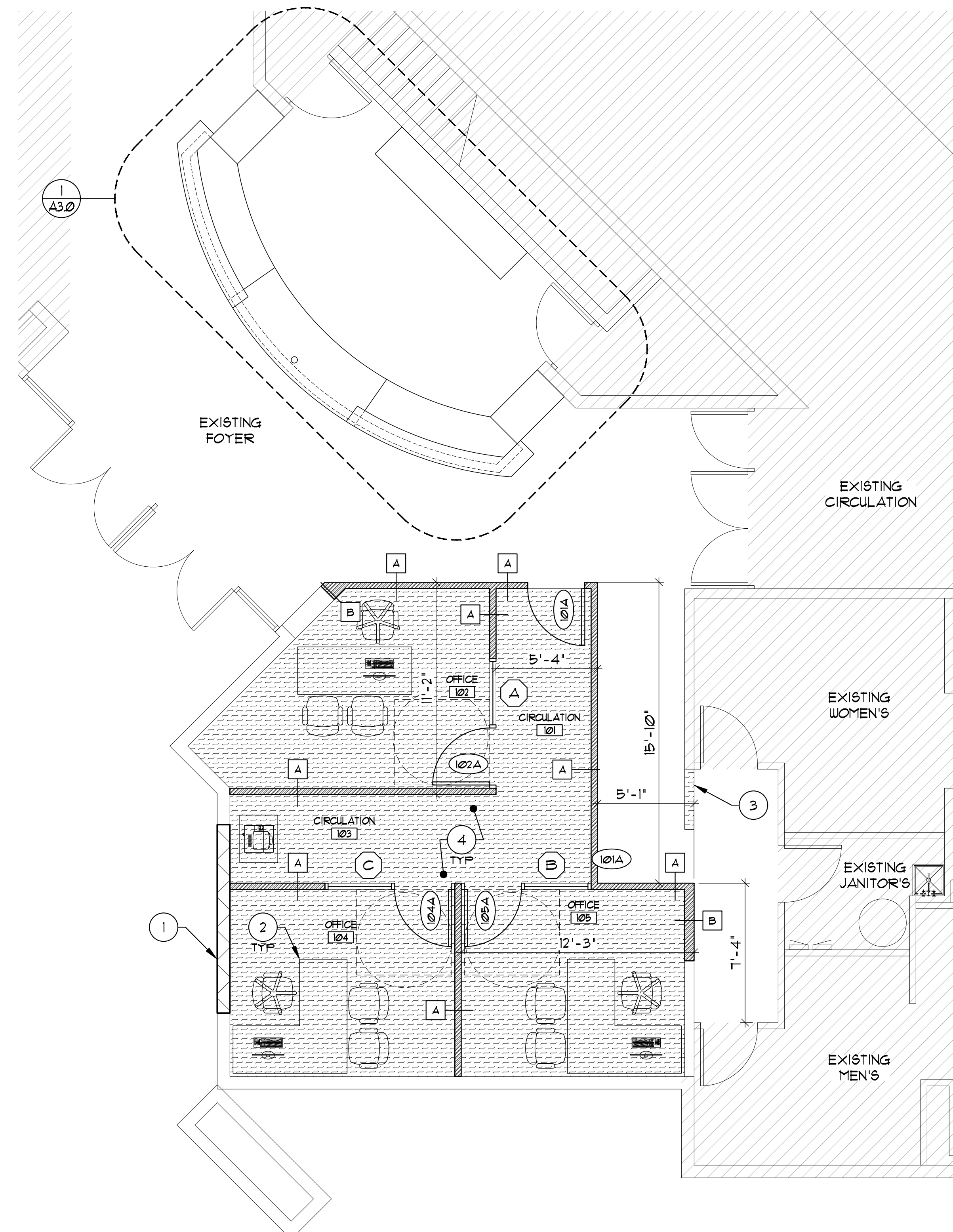
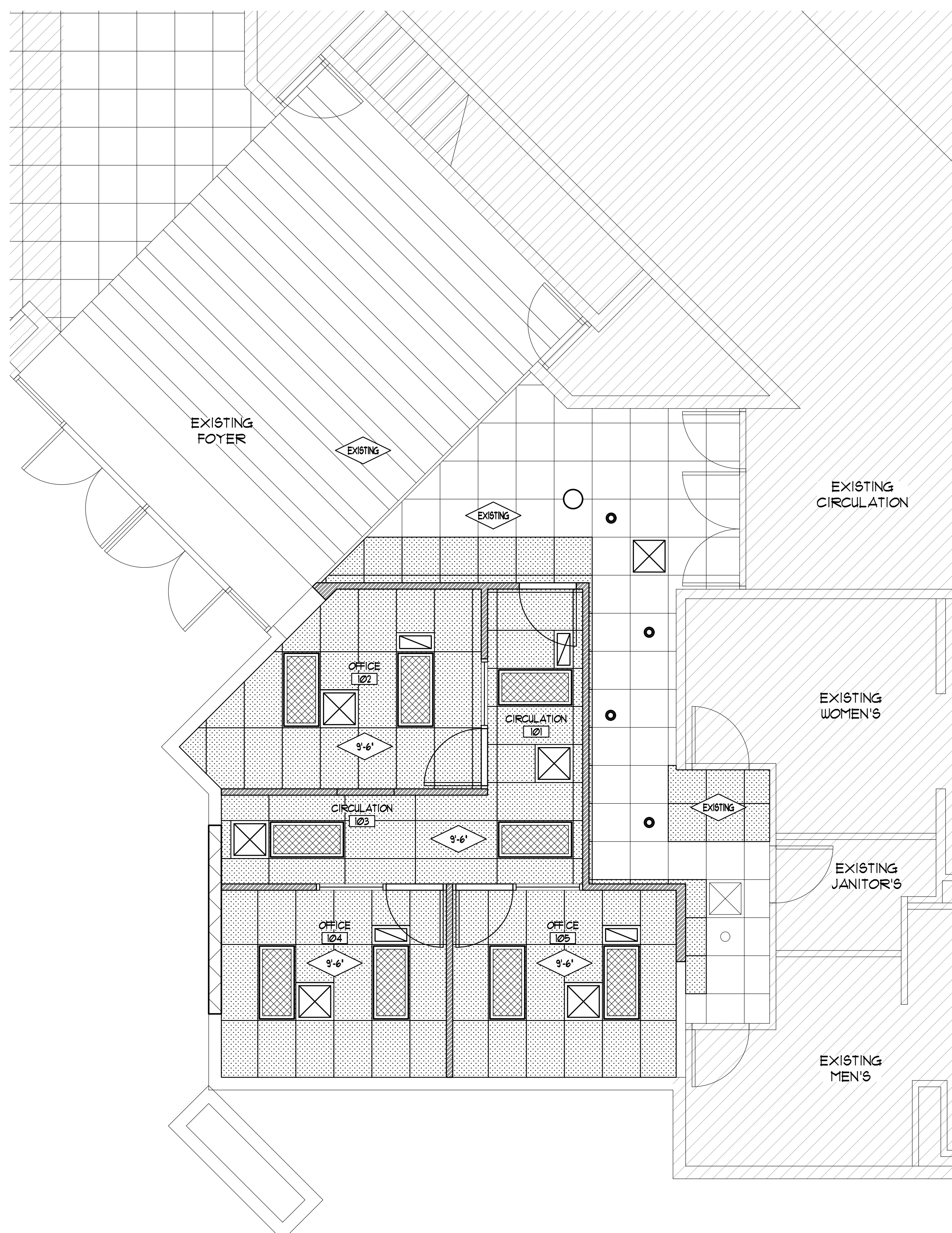
STEEL STUD PARTITION SIZE TABLE				
MAXIMUM UNBRACED PARTITION HEIGHT	STUD DEPTH	FLANGE WIDTH	STUD GA	STUD SPACING
10'-10"	3 5/8"	1 1/4"	25	24" O.C.
12'-5"	3 5/8"	1 1/4"	25	16" O.C.
13'-0"	3 5/8"	1 1/4"	20	24" O.C.
15'-0"	3 5/8"	1 1/4"	20	16" O.C.
20'-0"	6"	1 1/4"	20	24" O.C.

- NOTES:
1. HEIGHT LIMITATIONS AND STUD PROPERTIES BASED ON INFORMATION PROVIDED IN THE STEEL STUD MANUFACTURERS ASSOCIATION HANDBOOK. VALUES ARE FOR INTERIOR NON-STRUCTURAL NON-COMPOSITE PARTITIONS WITH A 5 PSF LOAD AND L1/40 DEFLECTION FACTOR.
 2. PROVIDE 4" STUDS AT PARTITIONS WITH 4" COLUMNS.
 3. PROVIDE SLIP TRACK AT ALL INTERIOR FULL HEIGHT WALLS, ESPECIALLY AT THE PRE-ENGINEERED METAL BUILDING AREAS.
 4. PROVIDE TYPE 'X' GYPSUM BOARD AT ALL RATED PARTITIONS.
 5. PROVIDE DRYWALL CONTROL JOINTS (AMCO DEEP 'V' WITH REMOVABLE TAPE OR SIMILAR). JOINTS ARE TO BE PLACED AT ORIGINAL EXPANSES EXCEEDING 30'-0" IN LENGTH. PROVIDE CONTROL JOINTS IN CEILING TO LIMIT AREAS TO 2500 SQUARE FEET AND IN ORDER TO LIMIT DIMENSIONS IN EITHER DIRECTION TO 50'-0".

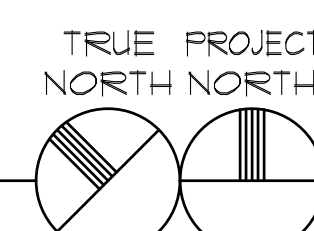
RCP LEGEND



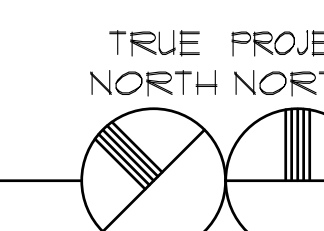
- NOTES:
- SEE ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE SCHEDULE.



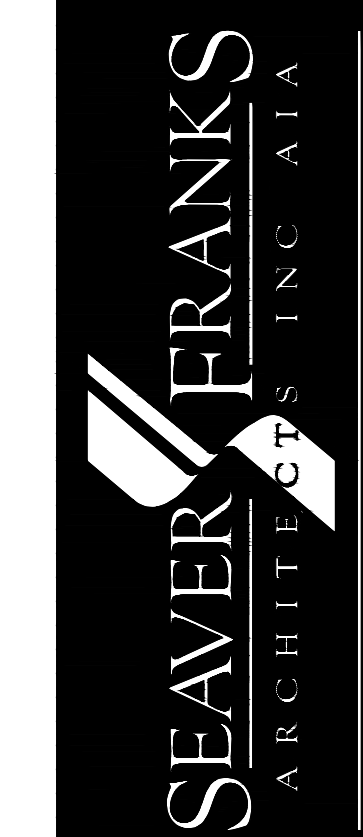
2 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 REFERENCE FLOOR PLAN
SCALE: 1/4" = 1'-0"



NEW OFFICES - TENANT IMPROVEMENT
REFERENCE FLOOR PLAN AND
REFLECTED CEILING PLAN


SEAVER FRANKS
 ARCHITECTS, INC. AIA
 2525 ALVERNANWAY/TULSON, AZ 85711 FAX 928-541-7700

GREEN VALLEY RECREATION CENTER
1111 SOUTH GVR DRIVE
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 DRG. SCALE A5 NOTED

SHEET

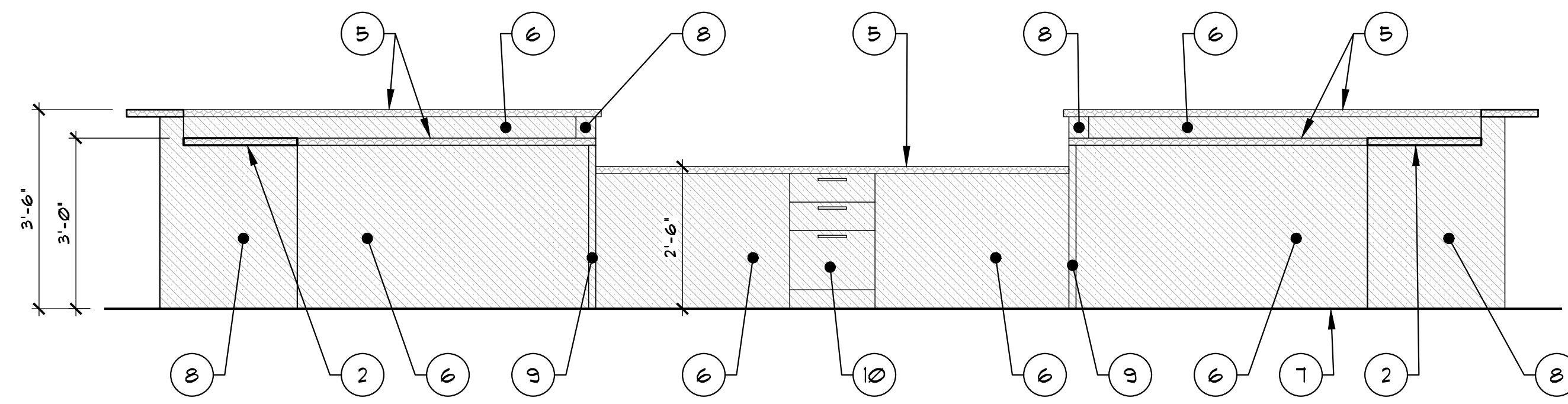
A2.0

GENERAL NOTES

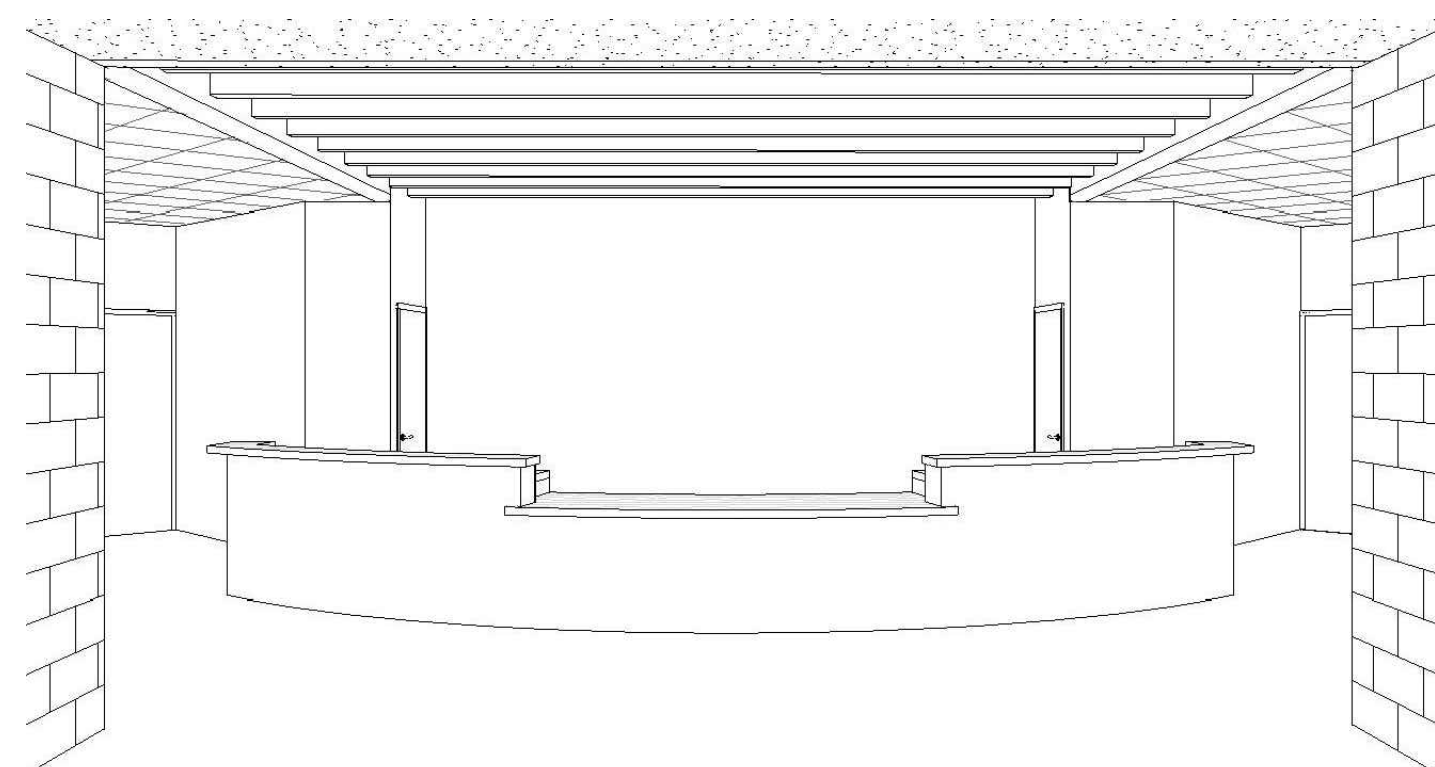
- A. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE BACKING AS REQUIRED FOR ALL WALL MOUNTED EQUIPMENT - SEE DETAIL 11/A4.0.
- C. ALL FURNITURE TO BE FURNISHED AND INSTALLED BY OWNER.
- D. PAINT EXISTING WALL AS REQUIRED.
- E. REPLACE EXISTING FLOORING AND WALL BASE AS REQUIRED IN THE AREA WHERE THE NEW RECEPTION DESK SHALL BE.
- F. ALTERNATE PRICING: PROVIDE PLASTIC LAMINATE FINISH ON THE COUNTERTOPS AND FLIP TOPS.

PLAN KEYNOTES

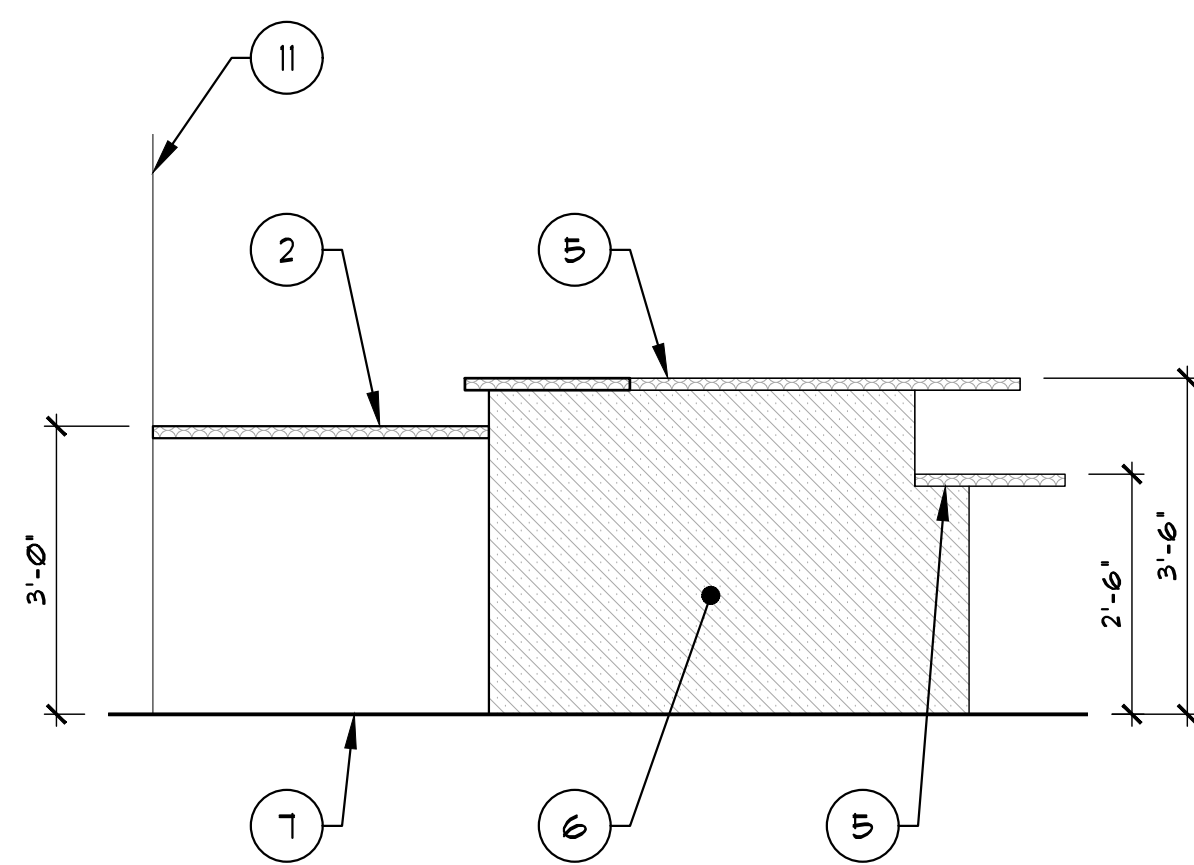
- 1. SOLID SURFACE COUNTERTOP ON PLASTIC LAMINATE BASE CABINETS.
- 2. SOLID SURFACE FLIP TOP BY MILLWORK FABRICATOR.
- 3. SOLID SURFACE COUNTERTOP ON PLASTIC LAMINATE RECEPTION DESK.
- 4. 3 5/8" STEEL STUD FRAMING WITH 5/8" GYPSUM BOARD AND PLASTIC LAMINATE FINISH ON BOTH SIDES OF WALL ASSEMBLY - DASHED IN (UNDER THE COUNTERTOPS).
- 5. SOLID SURFACE COUNTERTOP.
- 6. PLASTIC LAMINATE ON WALL ASSEMBLY, AS SPECIFIED ON KEYNOTE 4.
- 7. EXISTING FLOOR FINISH - REFER TO GENERAL NOTE E.
- 8. PLASTIC LAMINATE END PANEL - NO ACCESS THIS SIDE.
- 9. PLASTIC LAMINATE PANEL.
- 10. PLASTIC LAMINATE CABINETS.
- 11. EXISTING WALL ASSEMBLY - REFER TO GENERAL NOTE E.
- 12. PLASTIC LAMINATE BASE CABINETS.



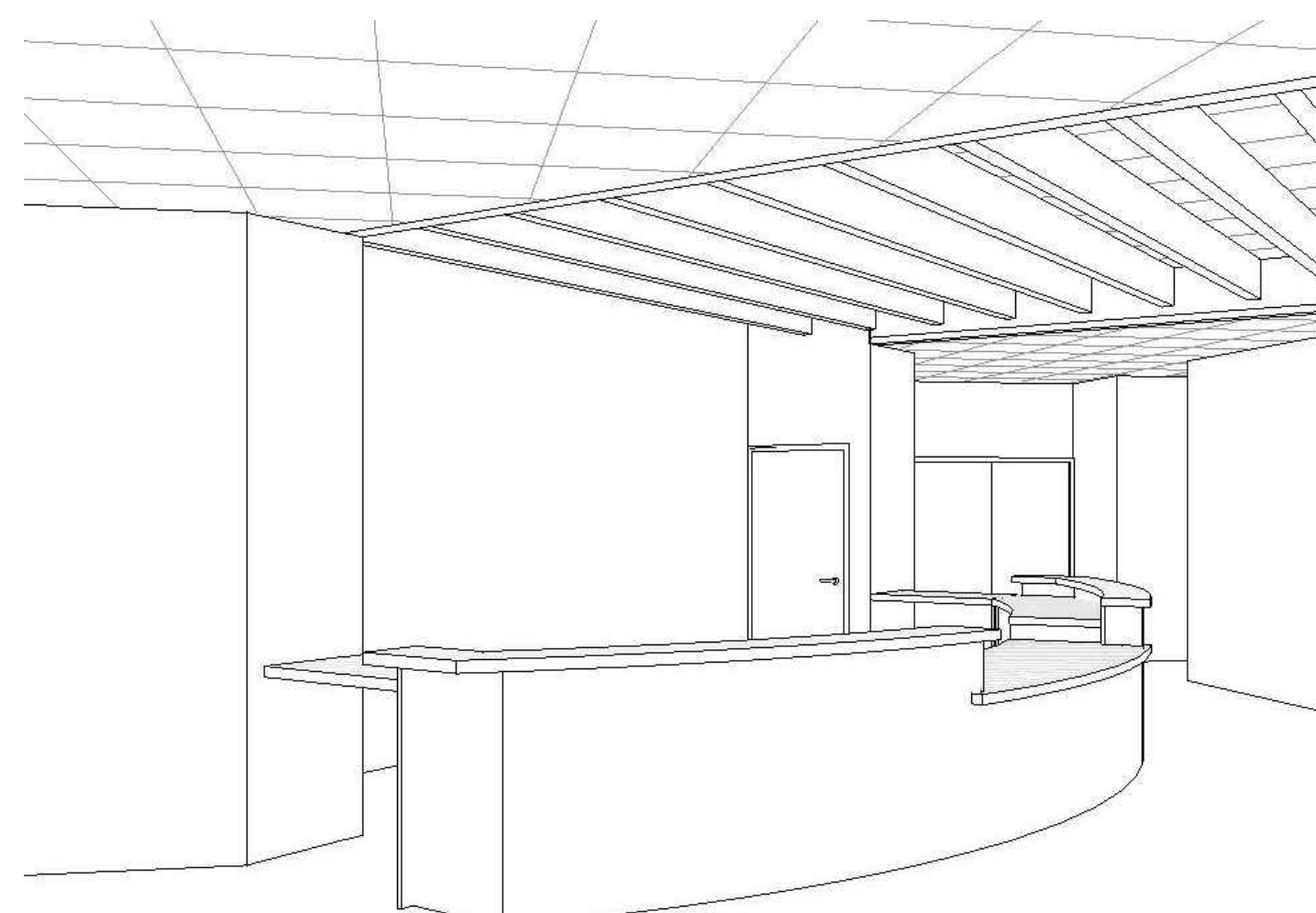
6 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



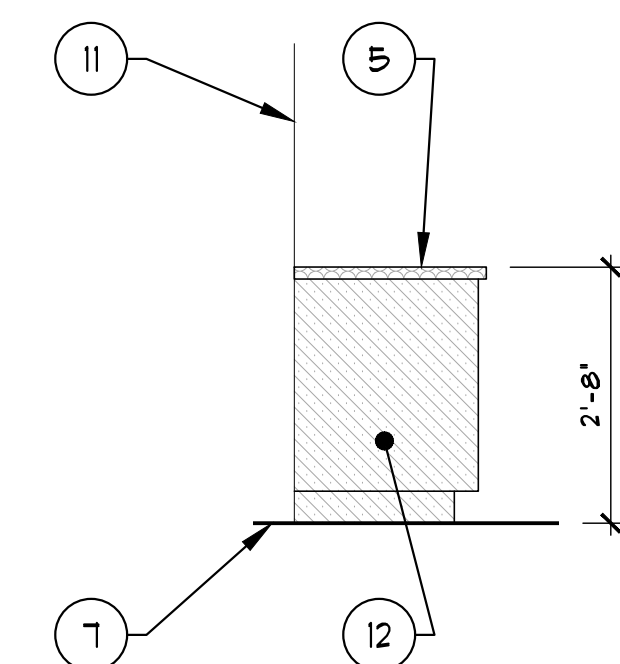
7 PERSPECTIVE - FRONT OF DESK
SCALE: NOT TO SCALE



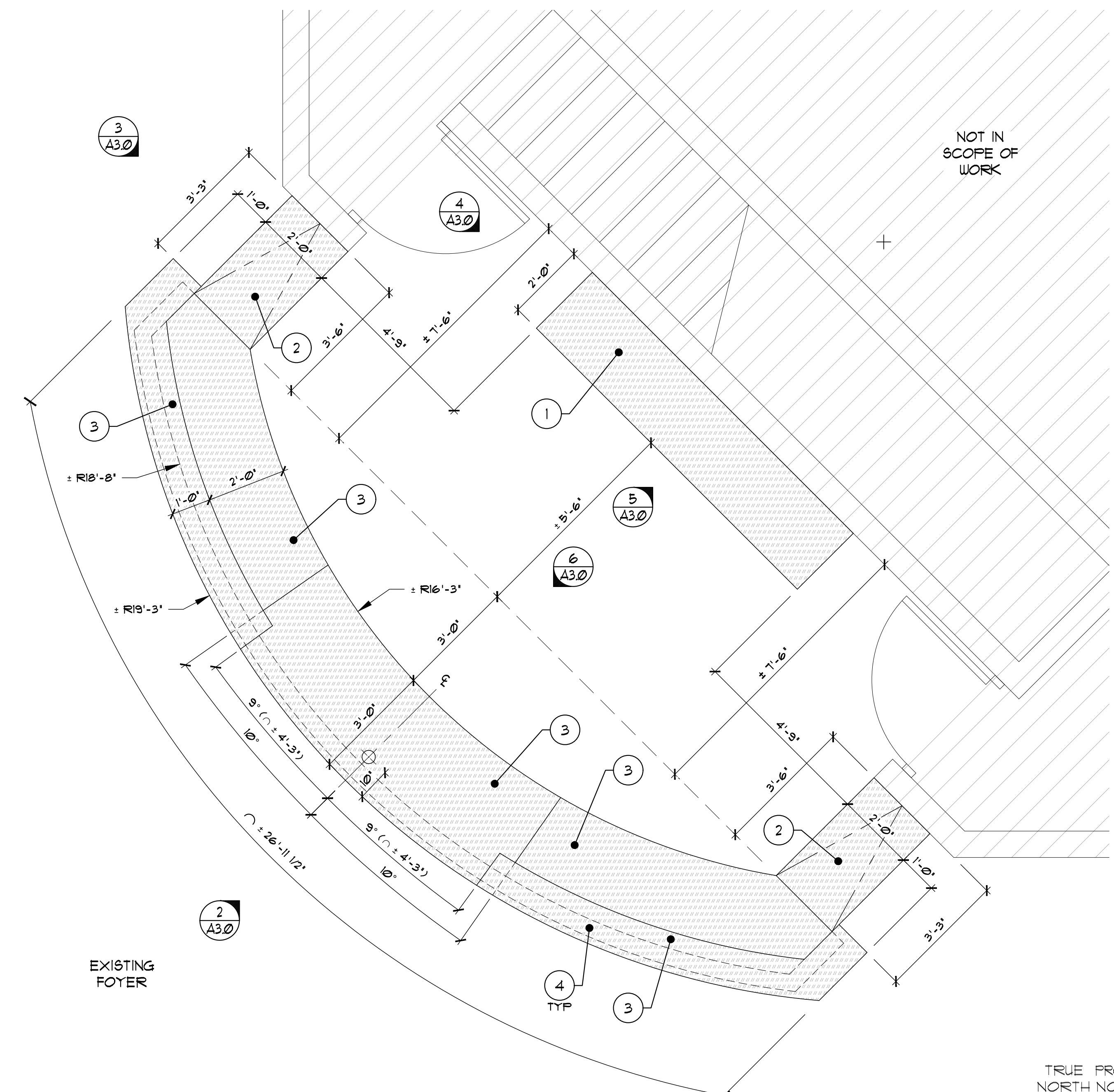
3 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



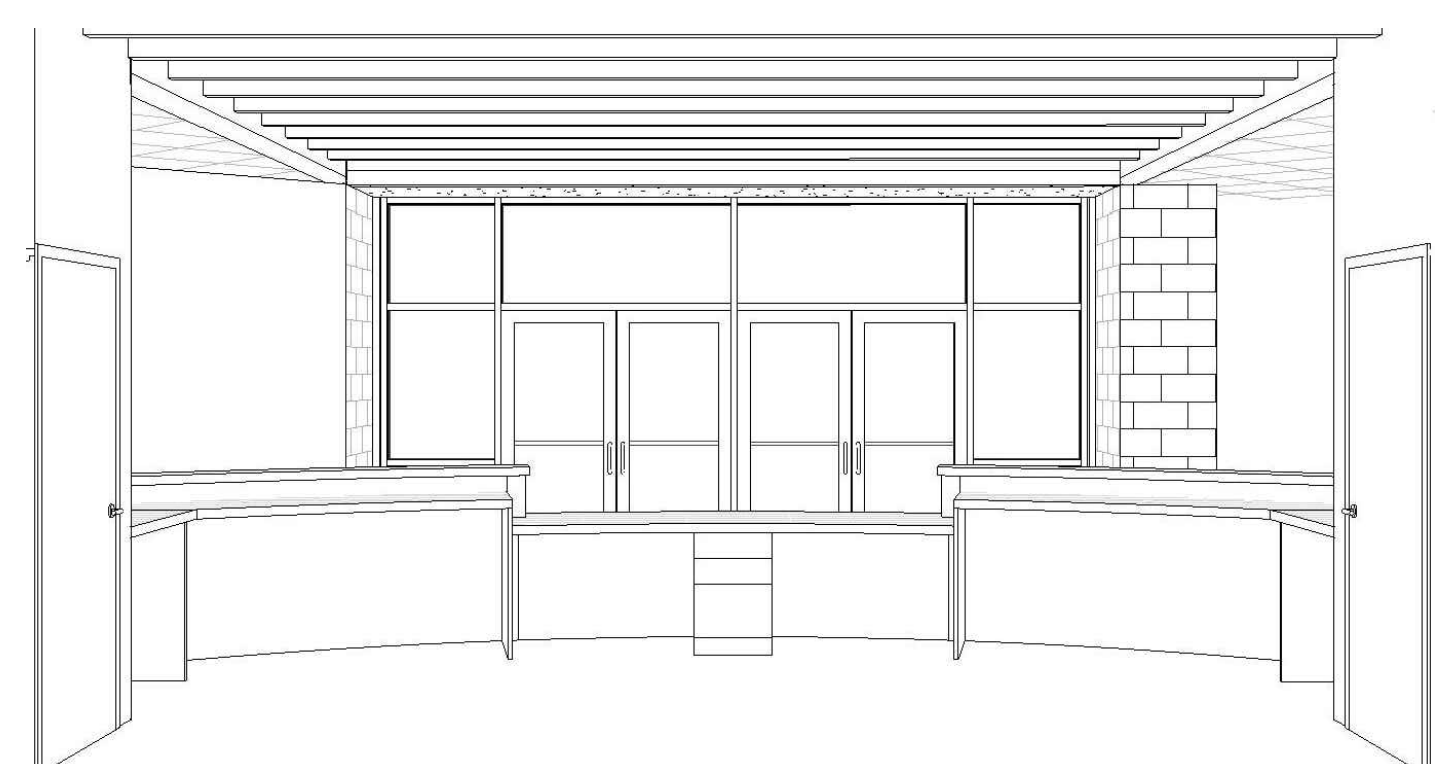
8 PERSPECTIVE - SIDE OF DESK
SCALE: NOT TO SCALE



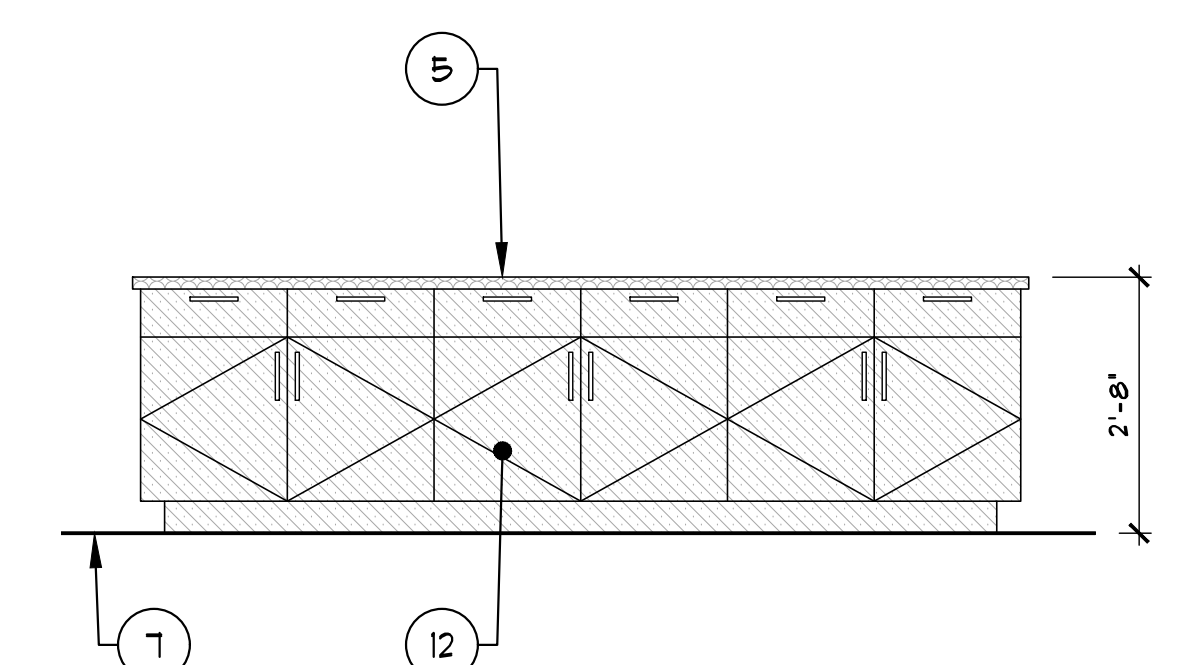
4 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



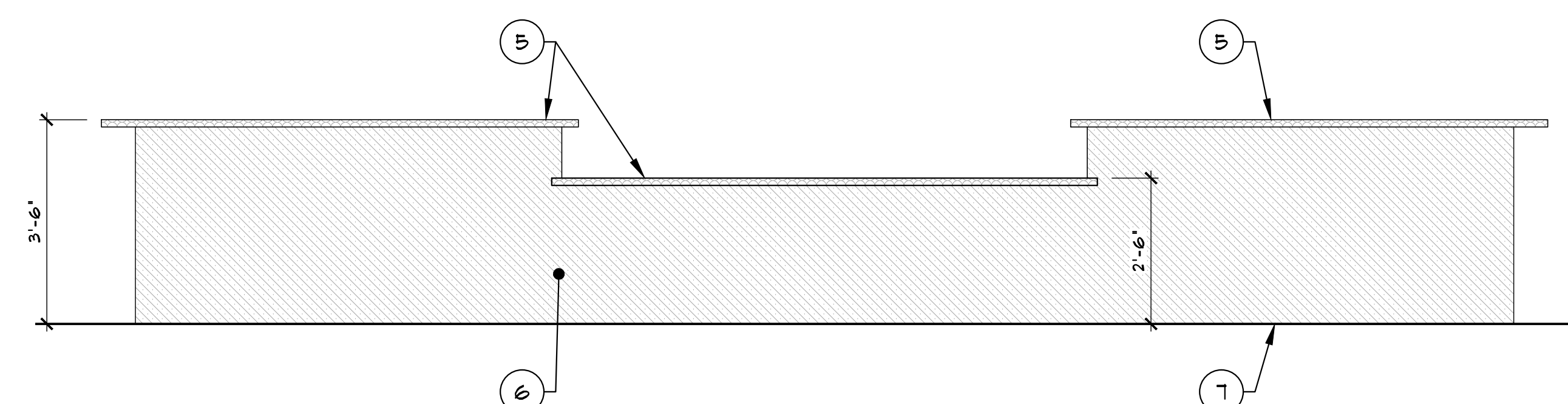
1 ENLARGED FLOOR PLAN
SCALE: 1/2" = 1'-0"



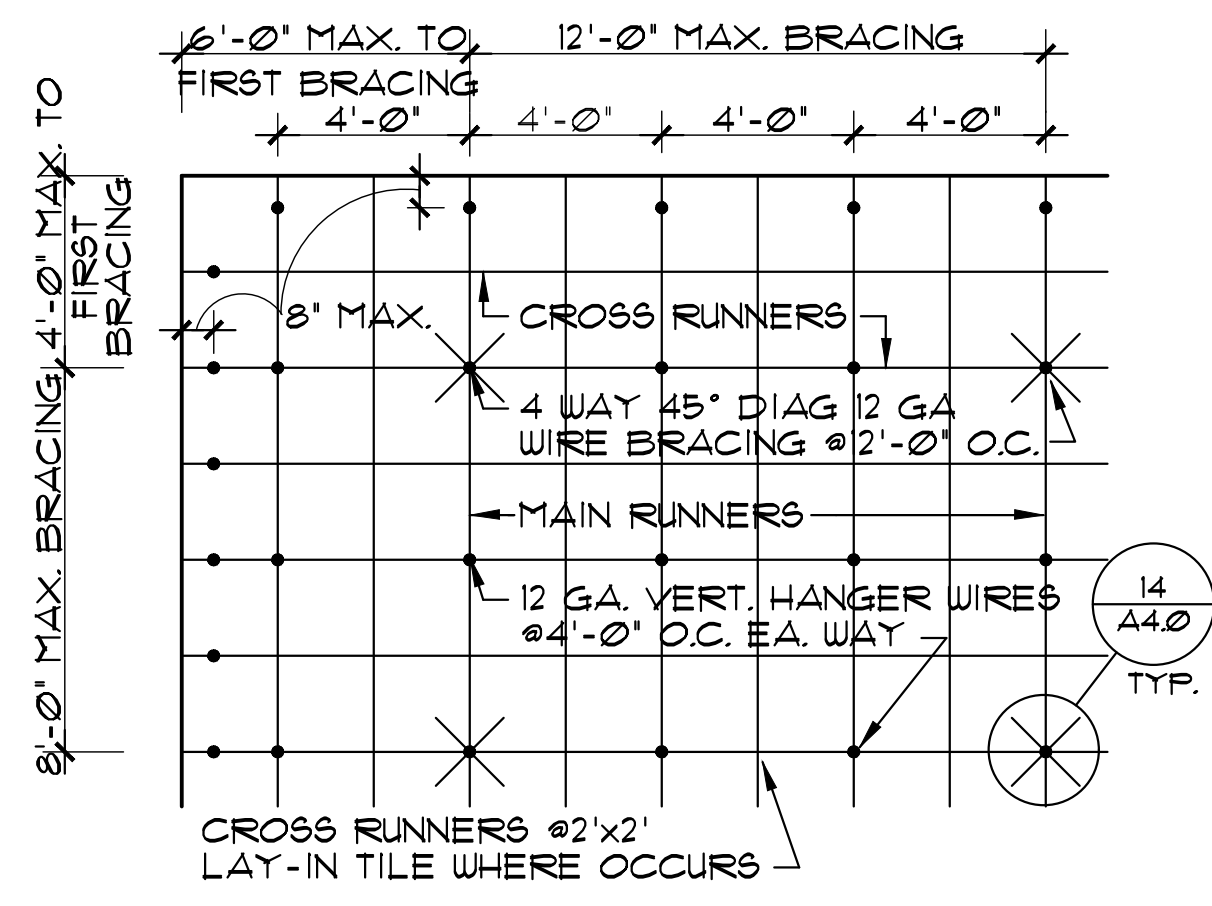
9 PERSPECTIVE - BACK OF DESK
SCALE: NOT TO SCALE



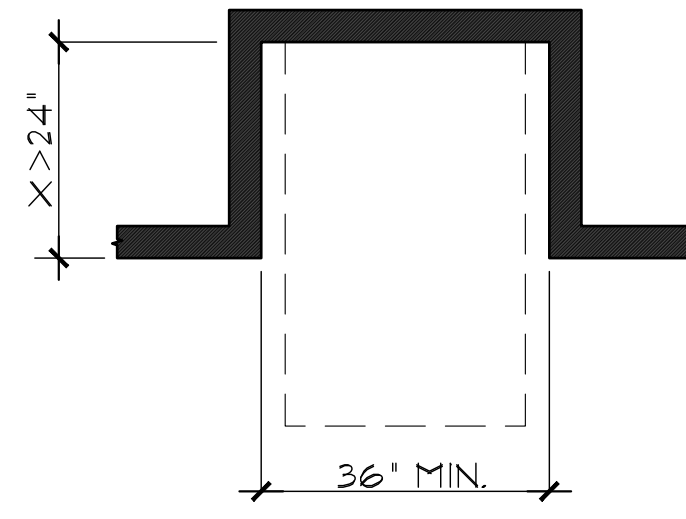
5 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



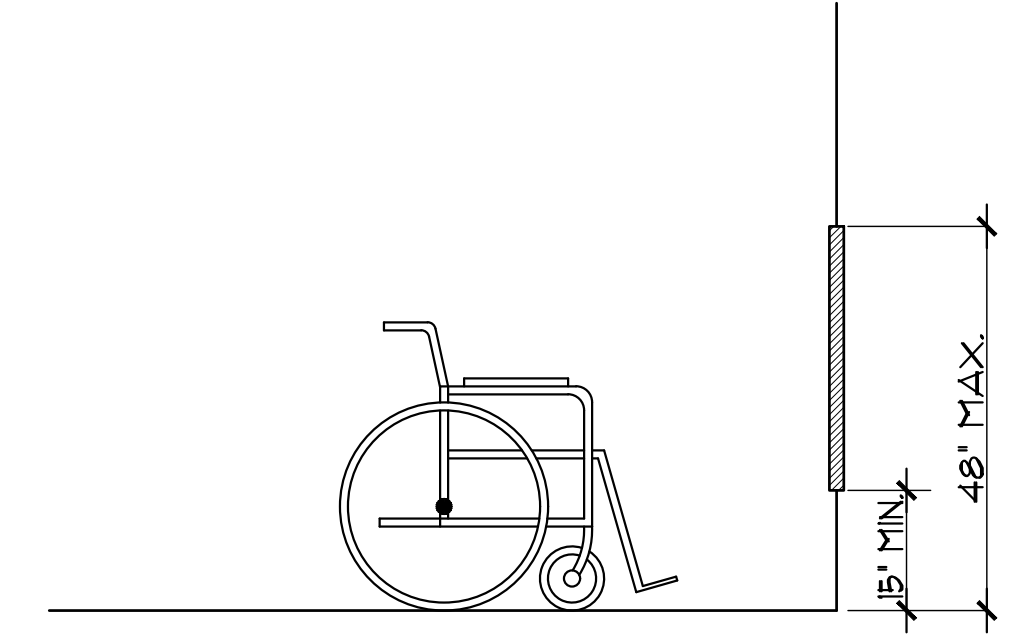
2 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



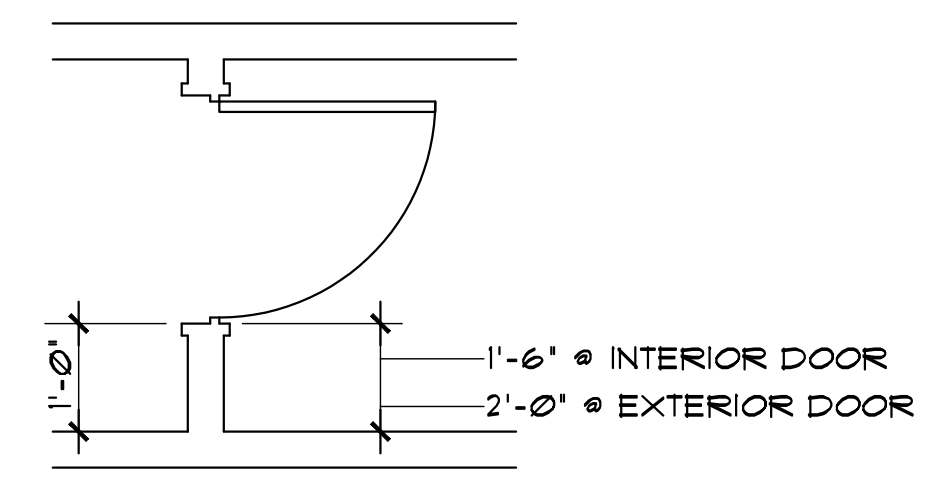
13 **DIAGRAMMATIC 2X2 LAY-IN CEILING PLAN**
SCALE: 1/4" = 1'-0"



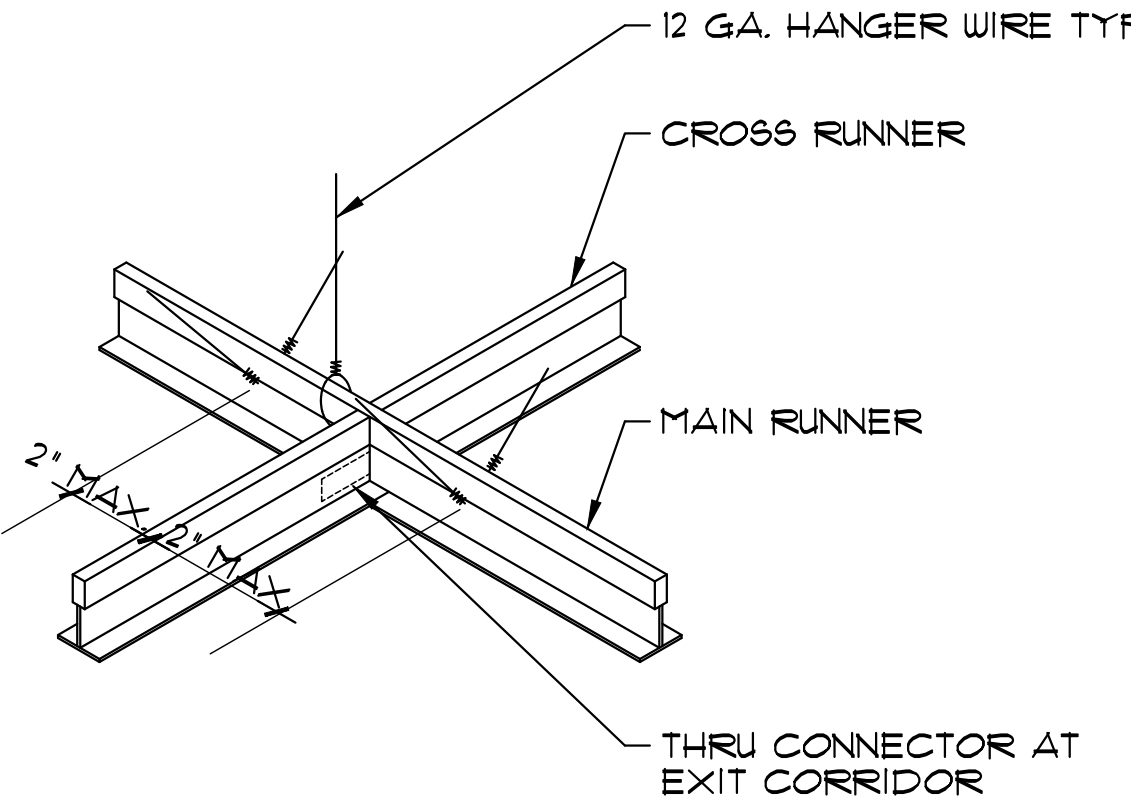
9 **ADA FORWARD APPROACH**
SCALE: 1/2" = 1'-0"



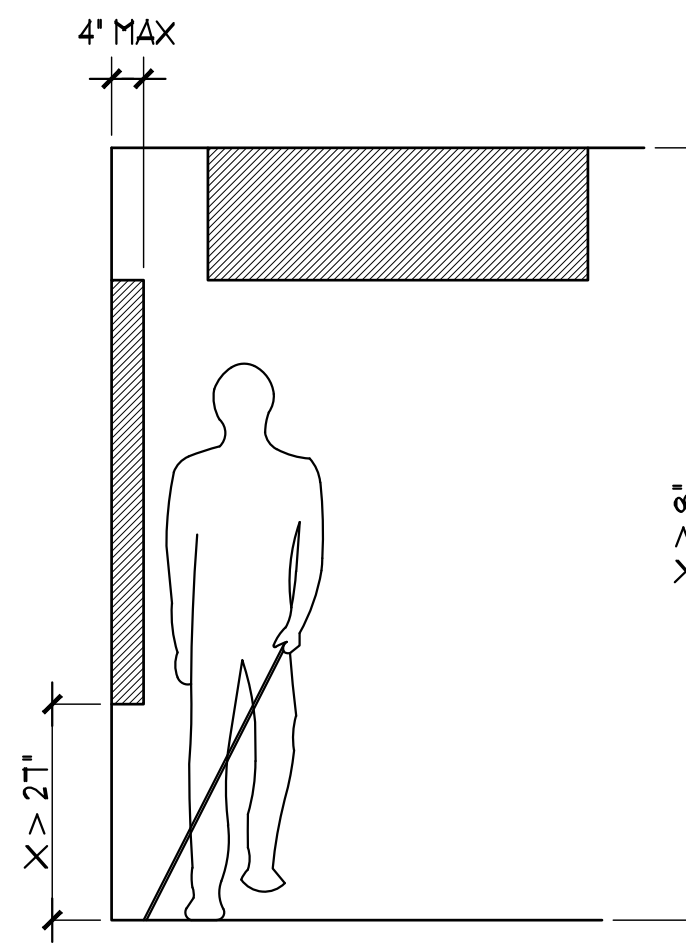
5 **UNOBSTRUCTED FORWARD REACH**
SCALE: 1/2" = 1'-0"



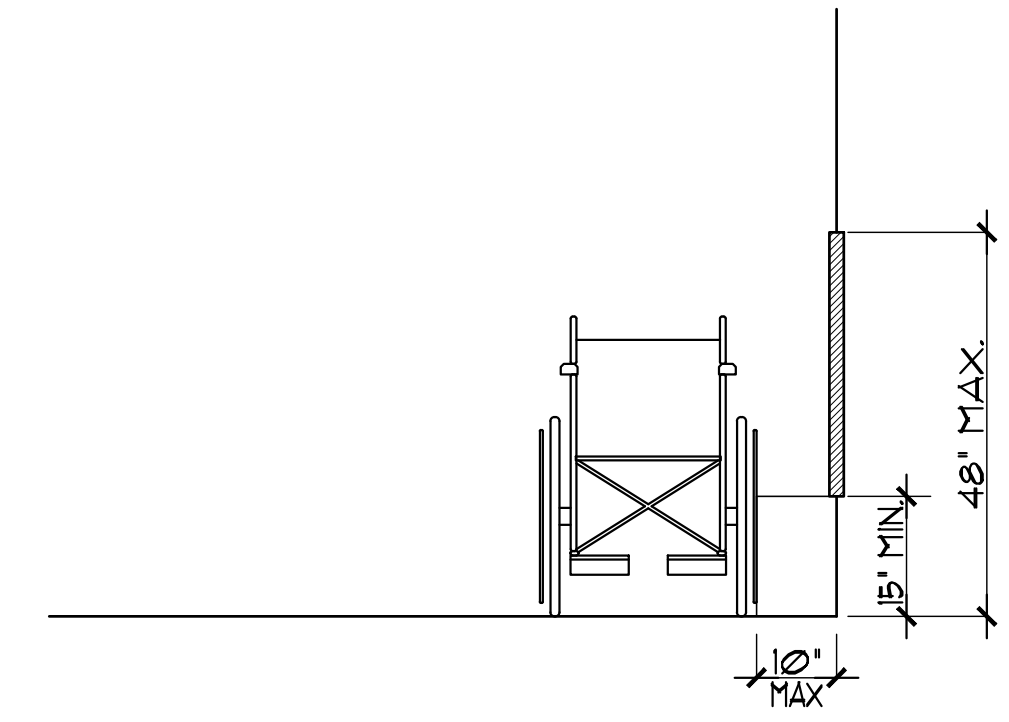
1 **DOOR CLEARANCE REQUIREMENT**
SCALE: 3/8" = 1'-0"



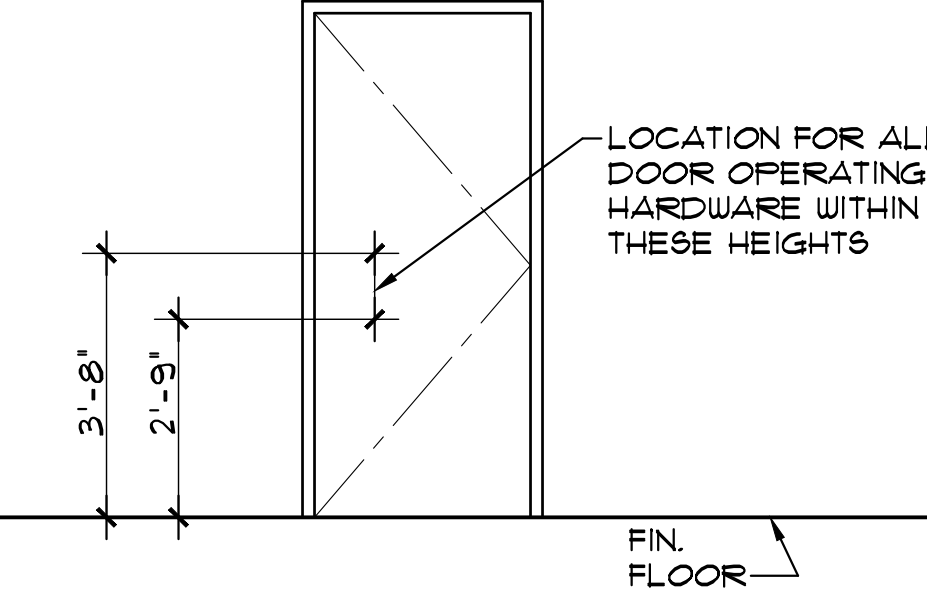
14 **ACOUSTIC CEILING CROSS CONNECTION**
SCALE: 3/4" = 1'-0"



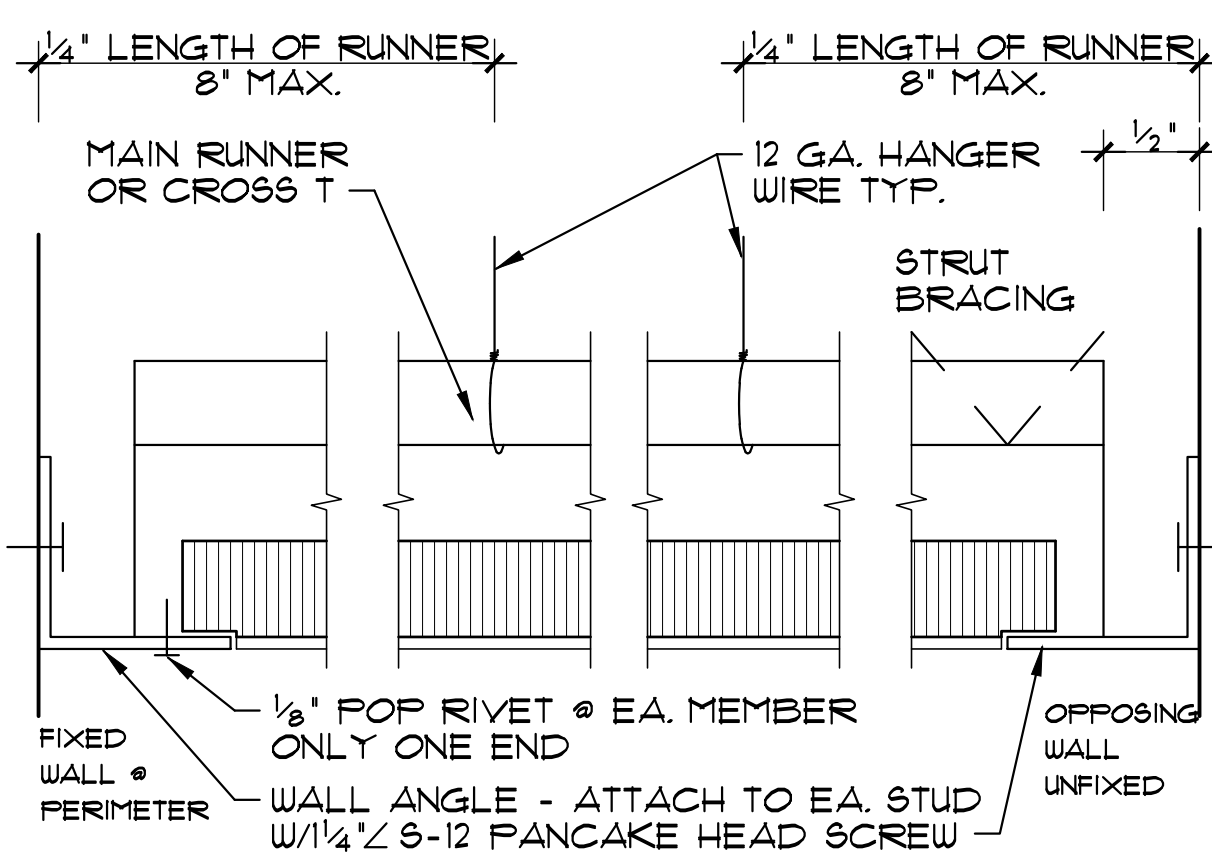
10 **LIMITS OF PROTRUDING OBJECTS**
SCALE: 1/2" = 1'-0"



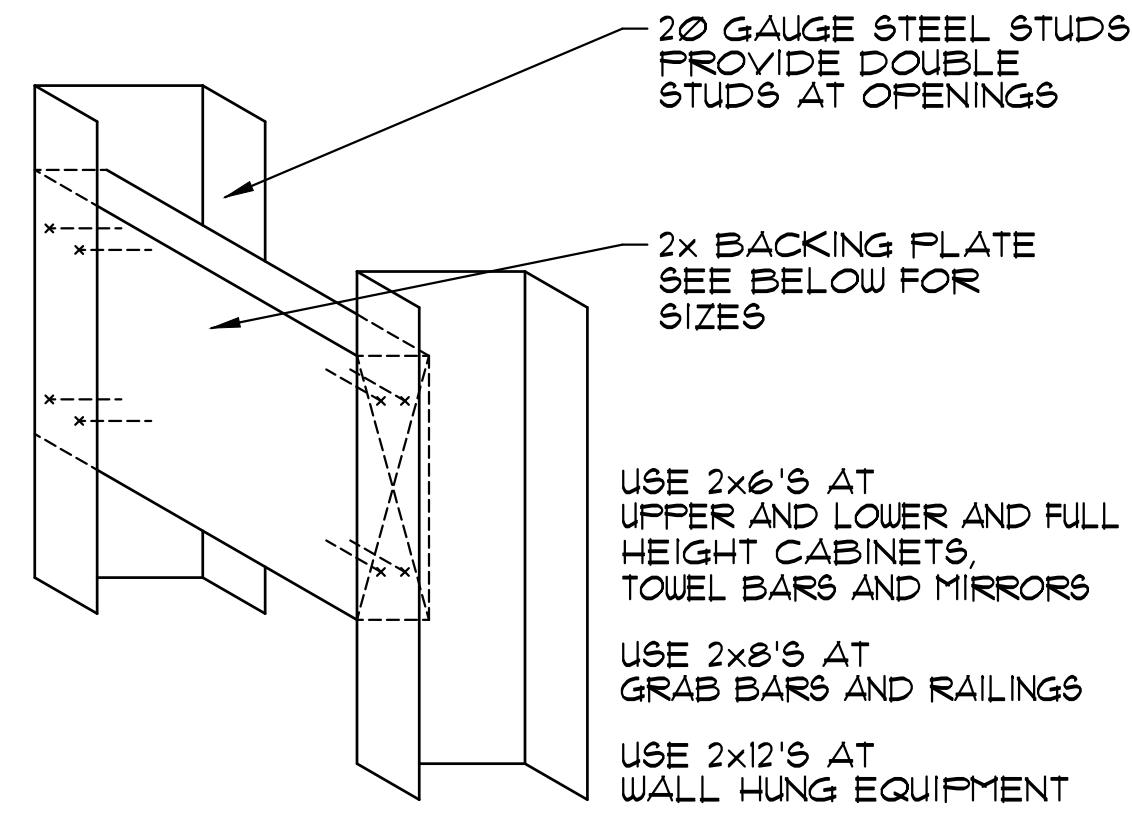
6 **UNOBSTRUCTED SIDE REACH**
SCALE: 1/2" = 1'-0"



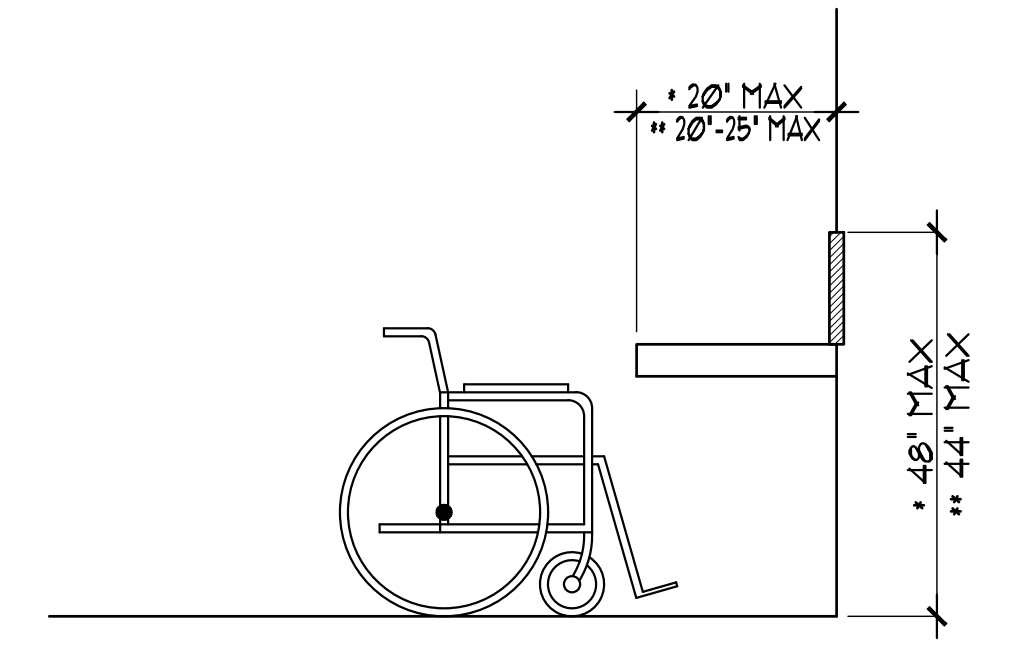
2 **DOOR OPERATING HARDWARE MOUNTING HEIGHT**
SCALE: 3/8" = 1'-0"



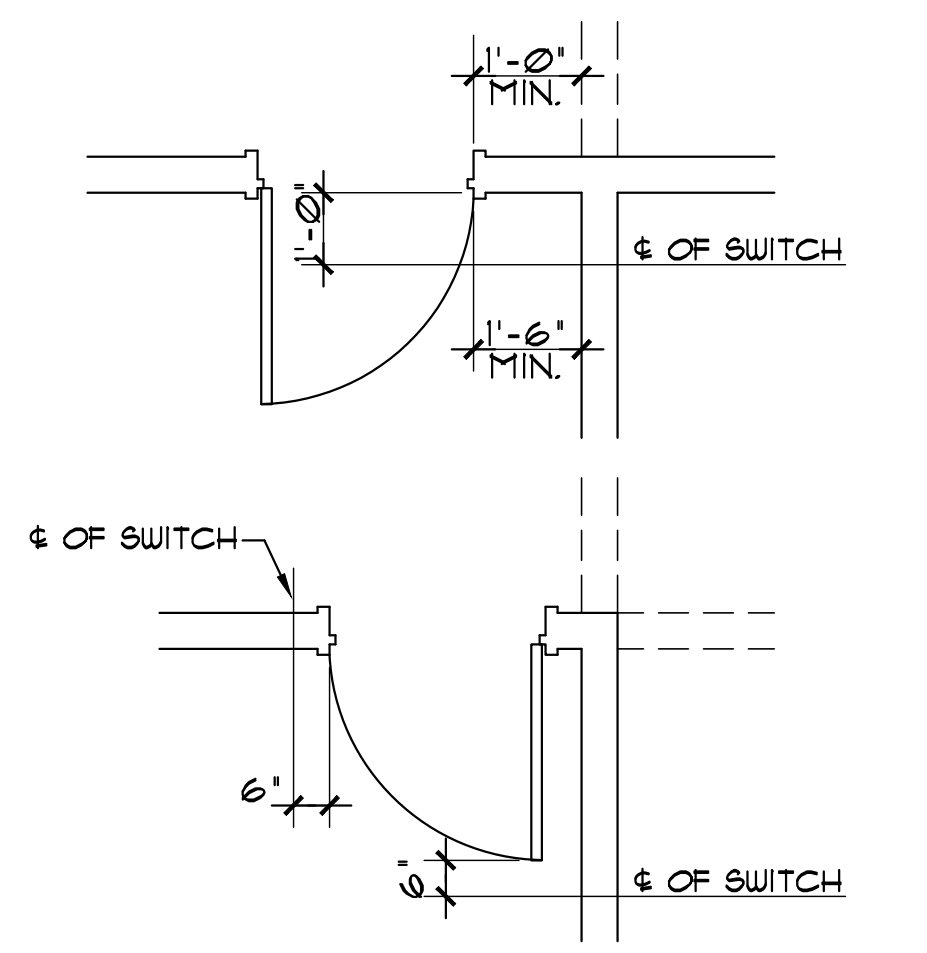
15 **ACOUSTIC CEILING WALL CONNECTION**
SCALE: FULL SCALE



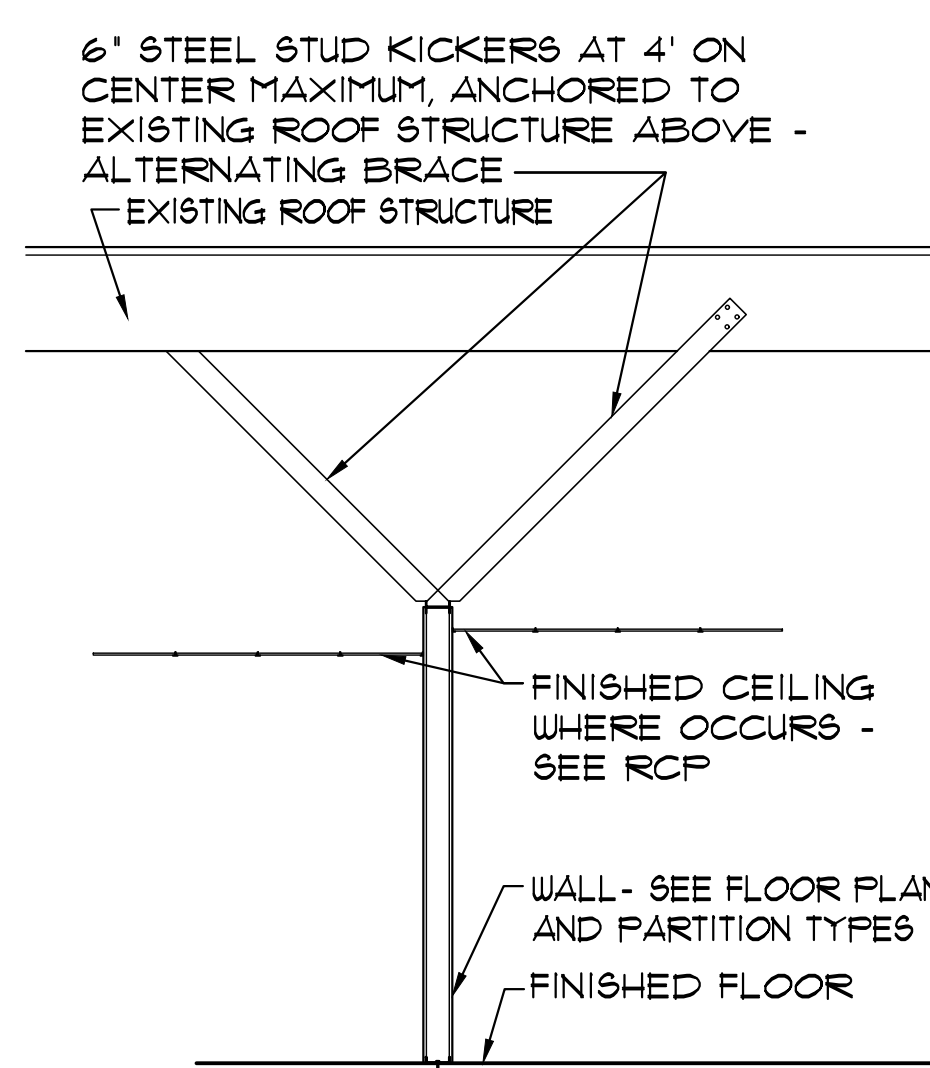
11 **BACKING PLATE**
SCALE: 3/4" = 1'-0"



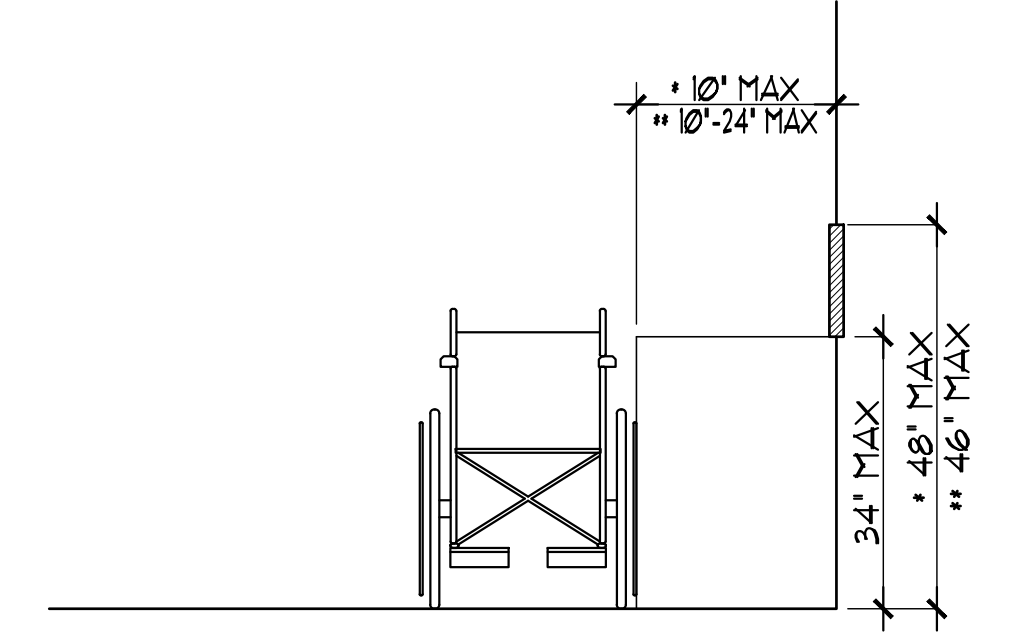
7 **OBSTRUCTED HIGH FORWARD REACH**
SCALE: 1/2" = 1'-0"



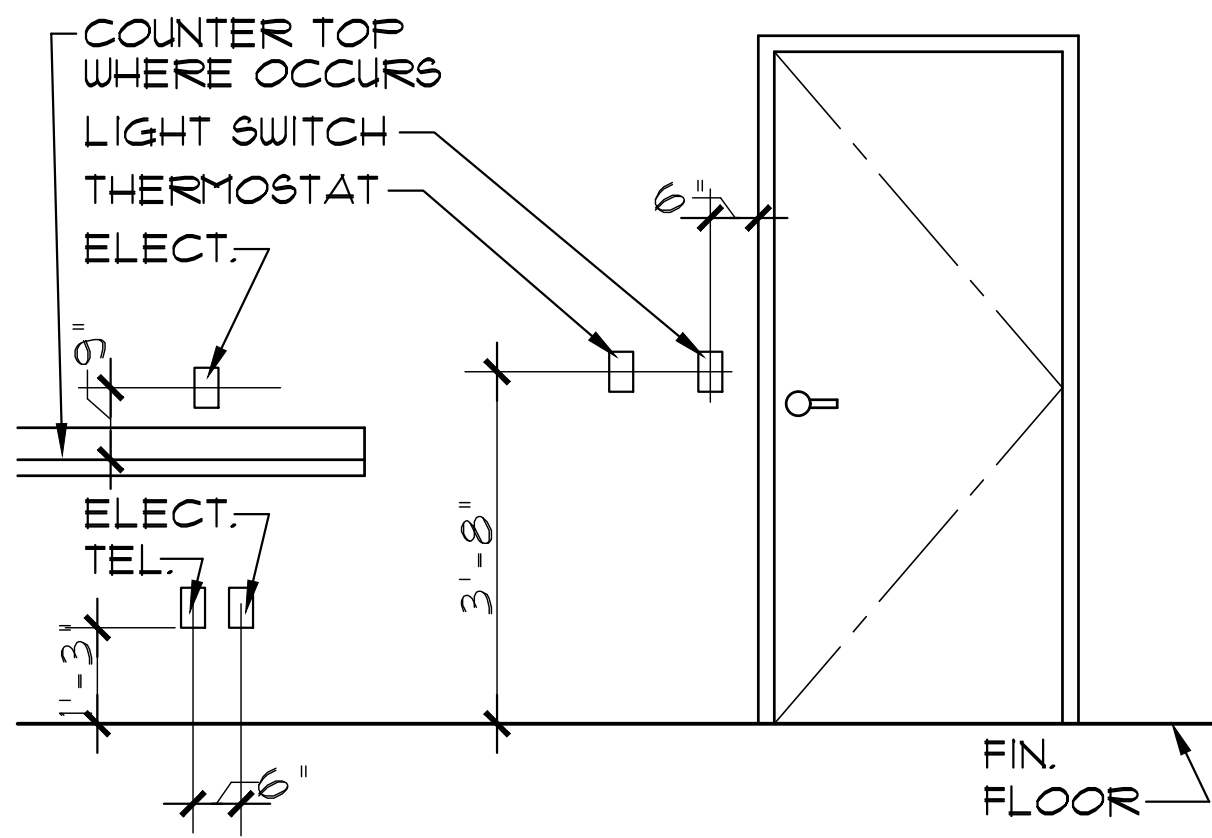
3 **LIGHT SWITCH LOCATIONS**
SCALE: 3/8" = 1'-0"



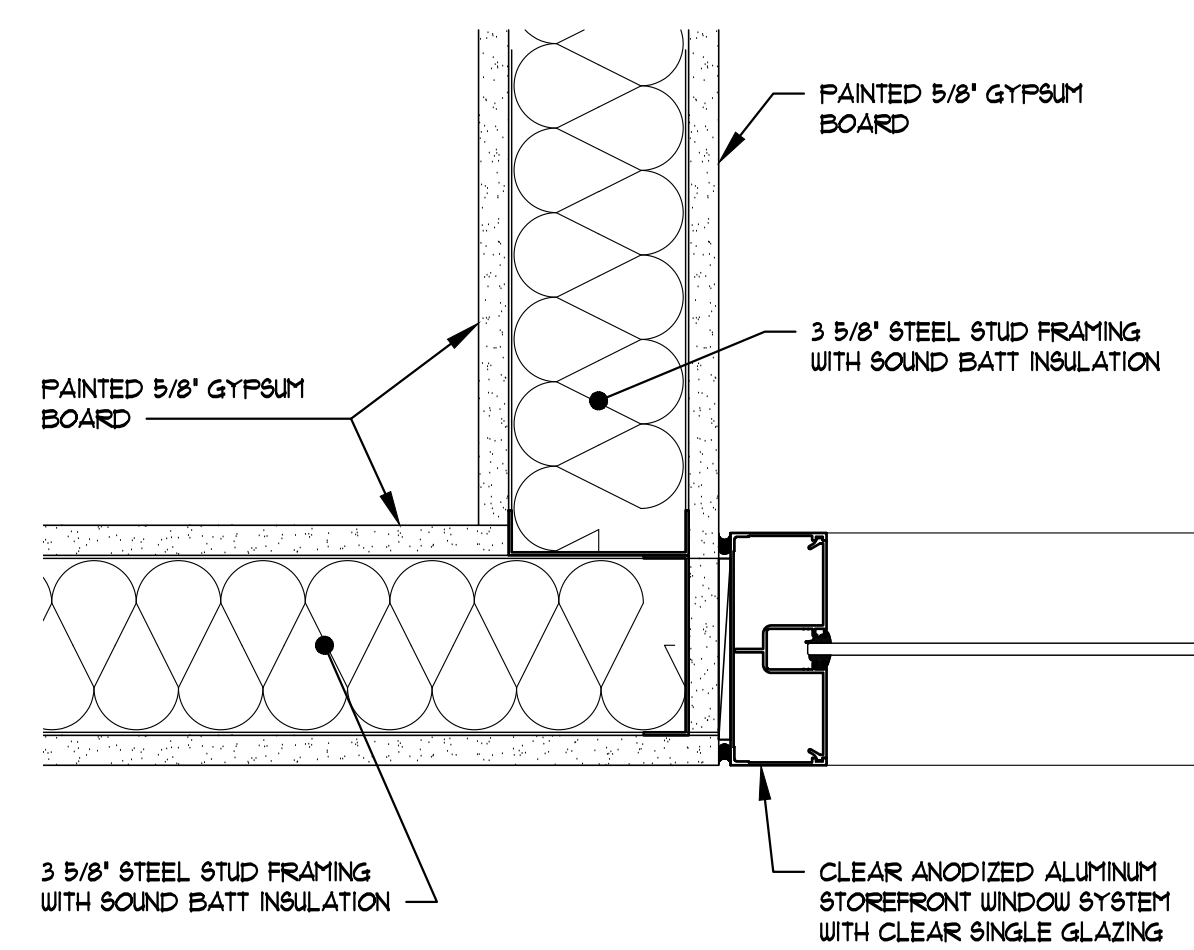
12 **WALL BRACE**
SCALE: 1/4" = 1'-0"



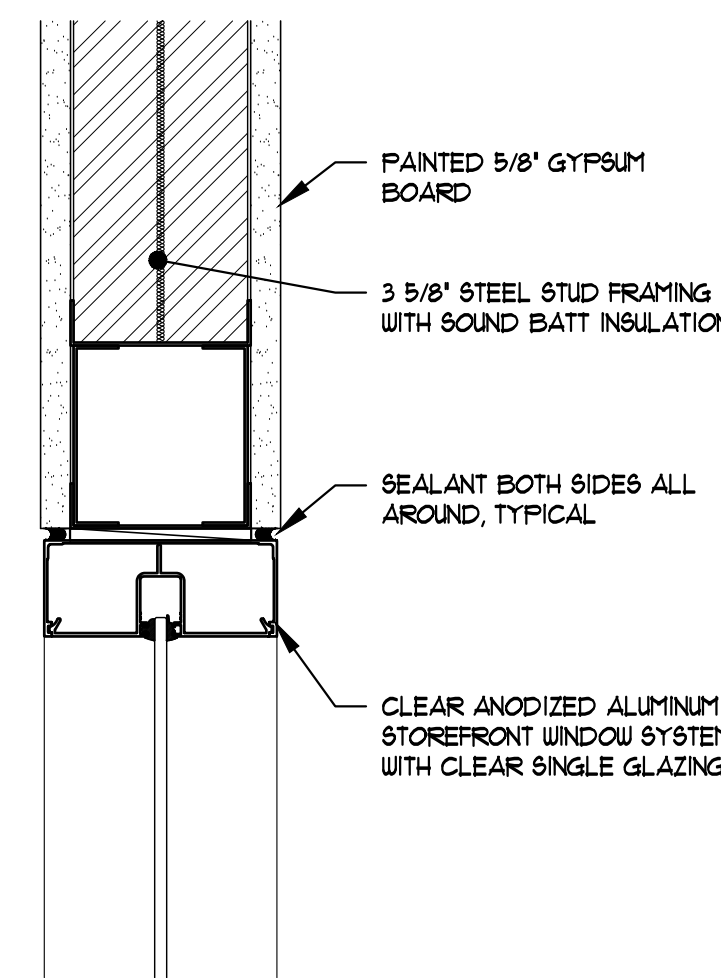
8 **OBSTRUCTED HIGH SIDE REACH**
SCALE: 1/2" = 1'-0"



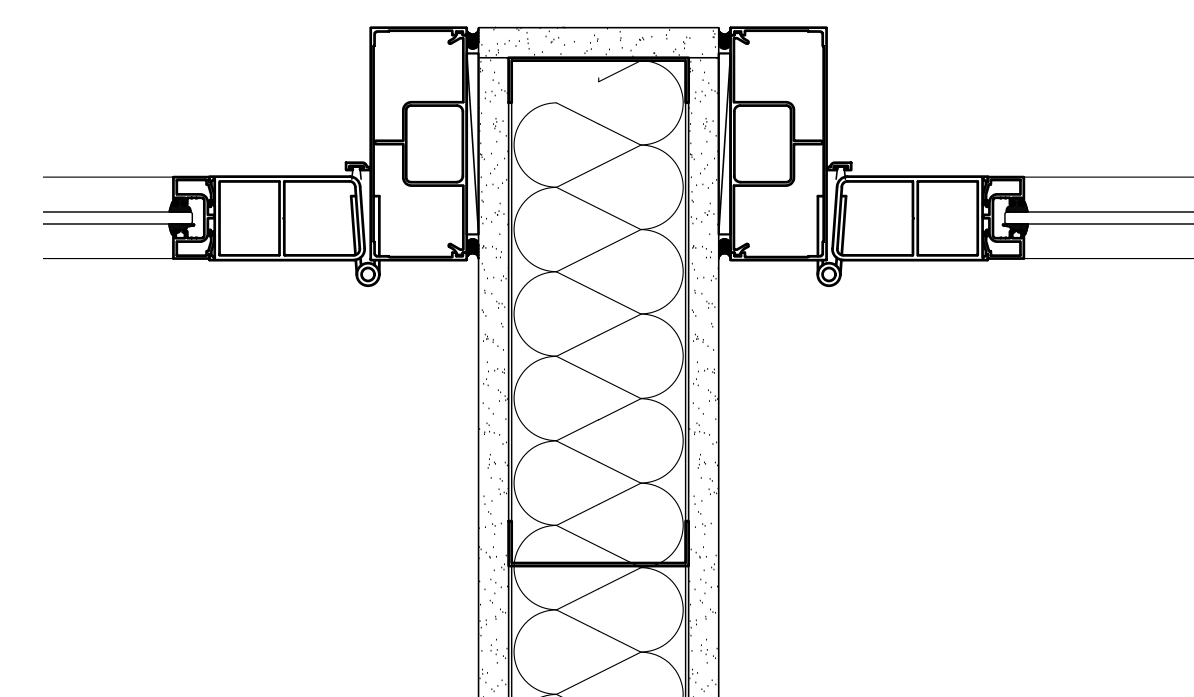
4 **ELECTRICAL MOUNTINGS**
SCALE: 1/2" = 1'-0"



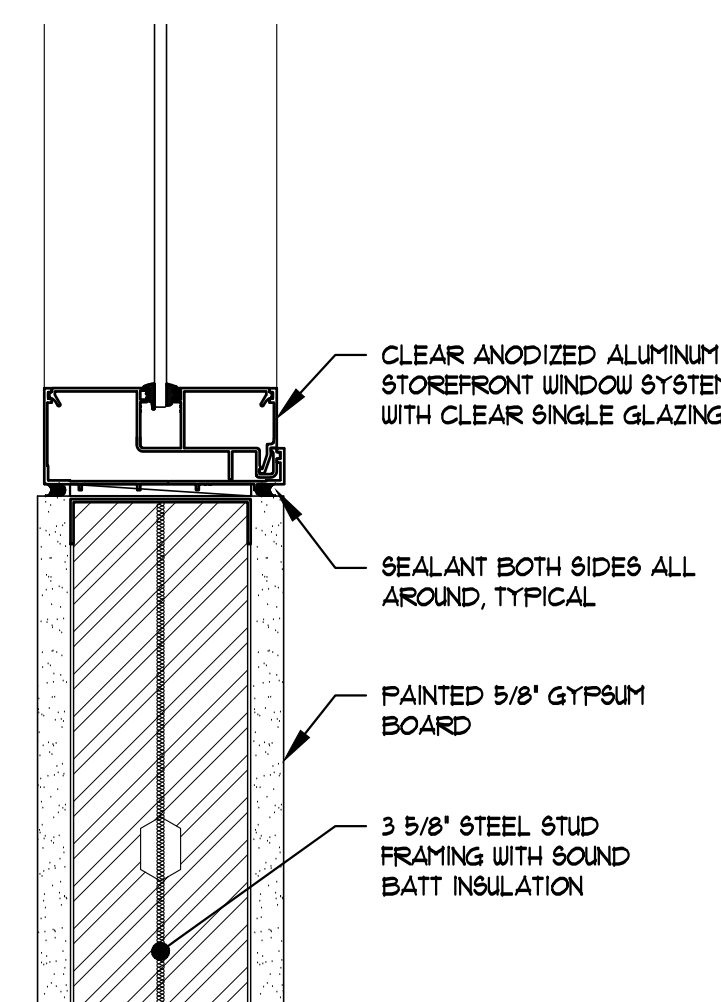
1 STOREFRONT WINDOW SYSTEM
SCALE: 3" = 1'-0"



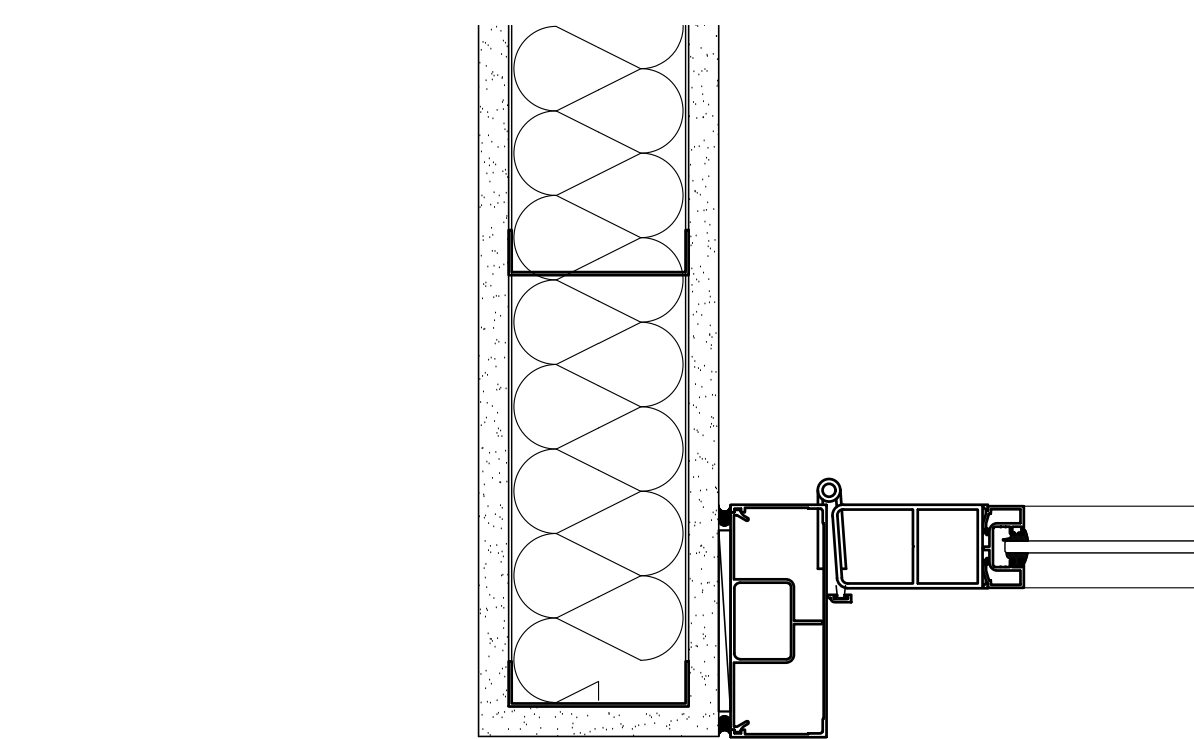
3 STOREFRONT WINDOW SYSTEM HEAD
SCALE: 3" = 1'-0"



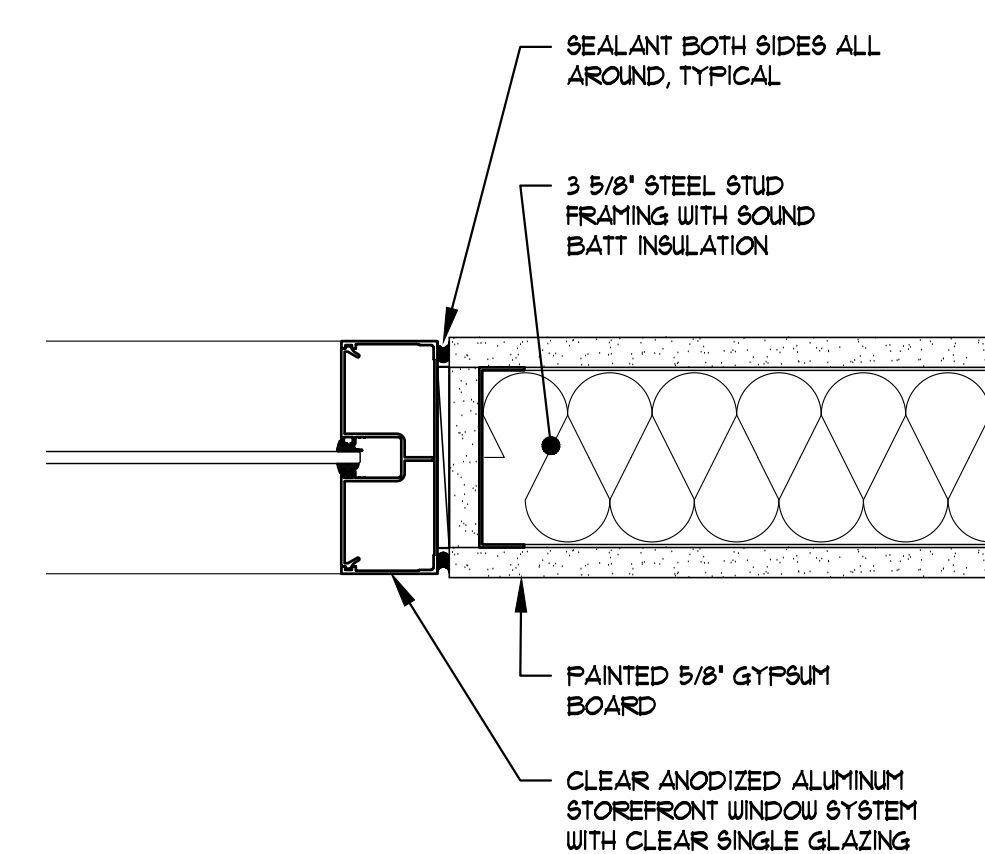
2 STOREFRONT DOOR SYSTEM PLAN
SCALE: 3" = 1'-0"



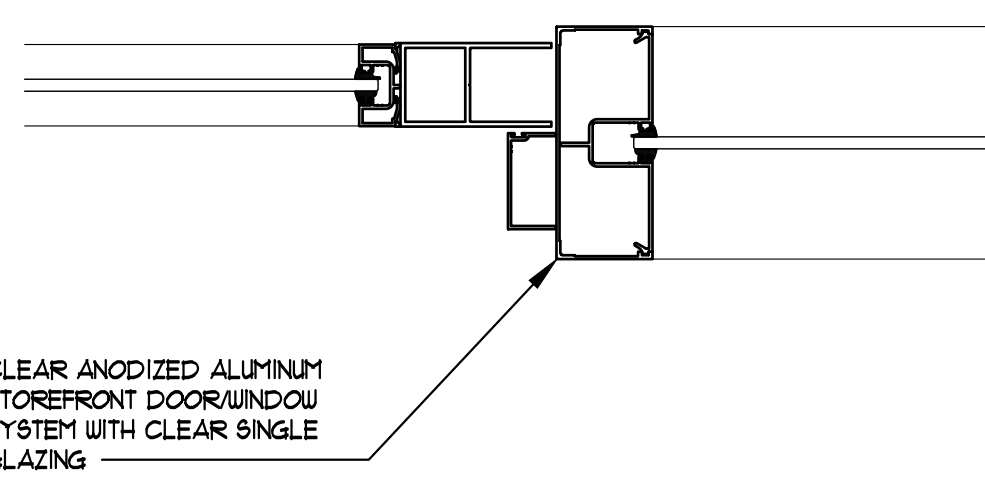
4 STOREFRONT WINDOW SYSTEM SILL
SCALE: 3" = 1'-0"



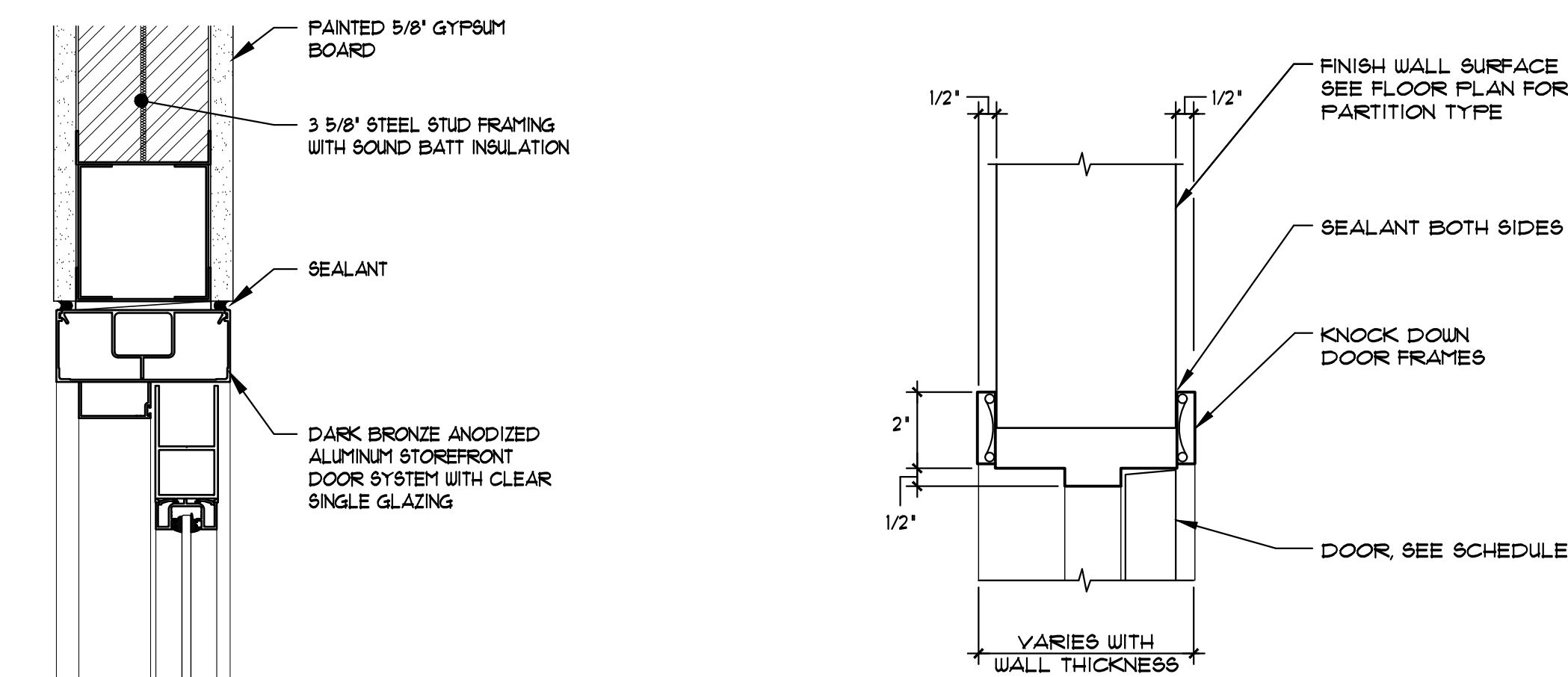
5 STOREFRONT DOOR SYSTEM PLAN
SCALE: 3" = 1'-0"



6 STOREFRONT WINDOW SYSTEM PLAN
SCALE: 3" = 1'-0"



7 STOREFRONT WINDOW SYSTEM PLAN
SCALE: 3" = 1'-0"

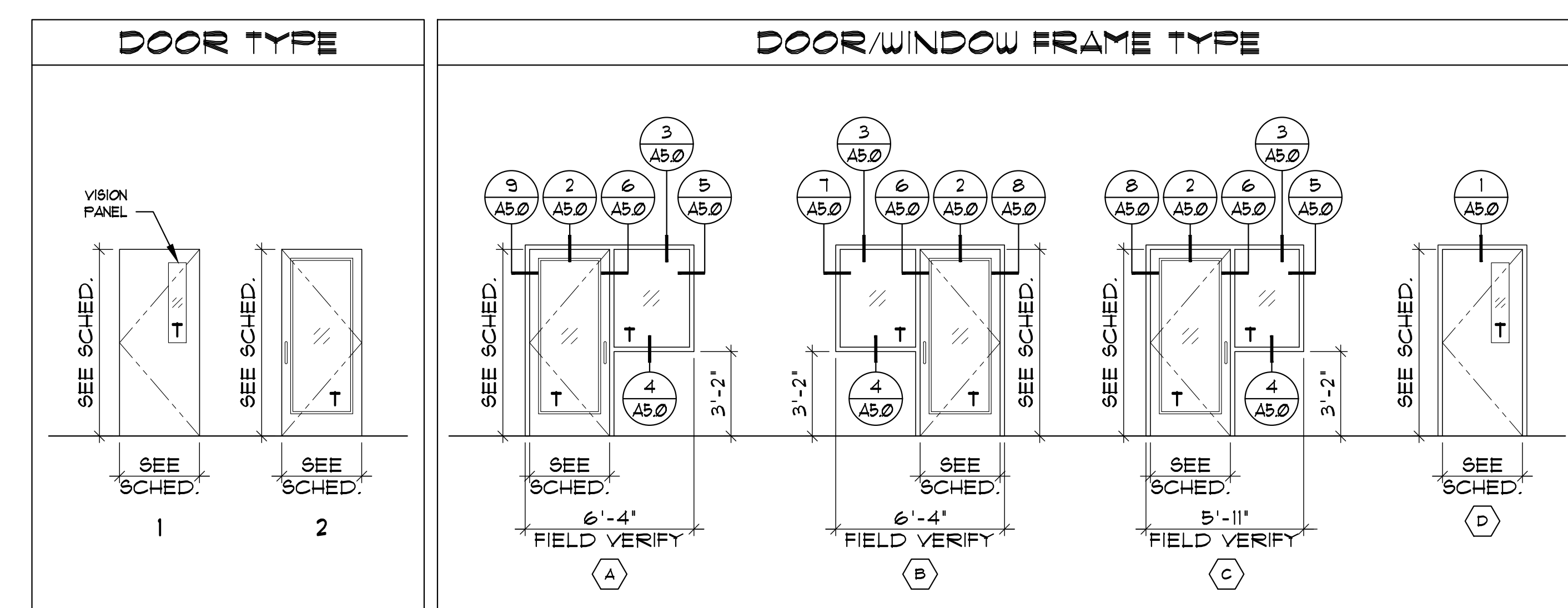


8 STOREFRONT DOOR SYSTEM HEAD
SCALE: 3" = 1'-0"

1 DOOR HEAD (JAMB SIM)
SCALE: 3" = 1'-0"

DOOR SCHEDULE											
DOOR NO.	ROOM NAME	OPENING SIZE (W X H)	DOOR				FRAME			HDWR	NOTES
			TYPE	MATERIAL	FINISH	GLASS	TYPE	MATERIAL	FINISH		
101A	CIRCULATION	3'-0" X 7'-0"	1	UD/GL	ST	T	D	KD ^A	PT	OFFICE ^B	DOOR SHALL MATCH EXISTING
102A	OFFICE	3'-0" X 7'-0"	2	AL/GL	CA	T	A	AL	CA	OFFICE ^B	DOOR SHALL MATCH EXISTING
104A	OFFICE	3'-0" X 7'-0"	2	AL/GL	CA	T	C	AL	CA	OFFICE ^B	DOOR SHALL MATCH EXISTING
105A	OFFICE	3'-0" X 7'-0"	2	AL/GL	CA	T	B	AL	CA	OFFICE ^B	DOOR SHALL MATCH EXISTING

KEY TO ABBREVIATIONS		
AL = ALUMINUM	KD = KNOCKED DOWN HOLLOW METAL	T = TEMPERED GLAZING
CA = CLEAR ANODIZED	PT = PAINTED	WD = WOOD
GL = GLAZING	ST = STAINED / PRE-FINISHED	



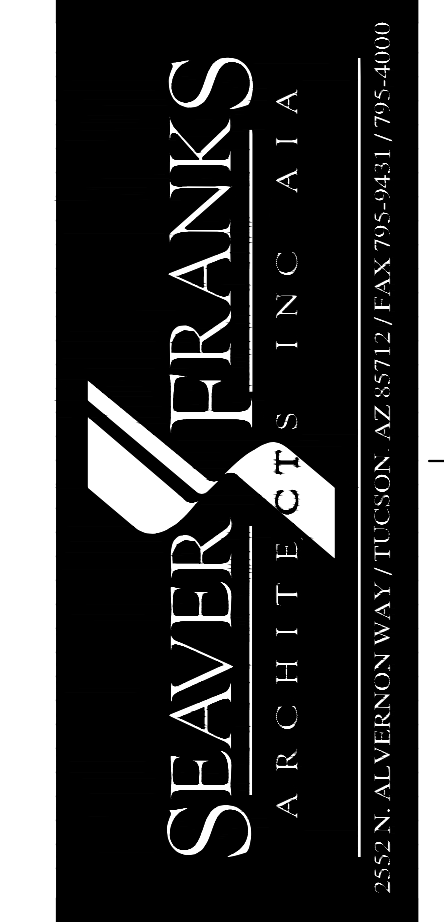
- GENERAL DOOR NOTES**
- REQUIRED HARDWARE TO COMPLY W/ ACCESSIBILITY REQUIREMENTS PER ANSI 111.404.2.6.
 - EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
 - EGRESS DOOR H/L (INCLUDING HANDLES, PULLS, LATCHES, LOCKS, ETC) SHALL NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING, OR TWISTING OF WRIST TO OPERATE.
 - EGRESS DOOR H/L SHALL BE INSTALLED NO LOWER THAN 34" AFF. AND NO HIGHER THAN 38" AFF.
 - EGRESS DOORS SHALL NOT HAVE MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS.
 - EGRESS DOORS SHALL BE CAPABLE OF BEING UNLATCHED IN NO MORE THAN A SINGLE OPERATION.
 - OWNER SHALL WORK WITH CONTRACTOR'S DOOR HARDWARE SUPPLIER TO GENERATE A DOOR HARDWARE SCHEDULE. SECURITY ACCESS CONTROL MAY BE REQUIRED AT CERTAIN DOORS. ONCE CRITERIA IS SET, CONTRACTOR SHALL SUBMIT HARDWARE SCHEDULE FOR FINAL OWNER APPROVAL.
 - INCLUDES DEADBOLT AND SIGN READING 'DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED'.
 - INCLUDES EXIT HARDWARE ALWAYS LOCKED ON OUTSIDE, AND SECURITY MEASURES ABOVE.
 - ALTERNATE PRICING: PROVIDE PAINTED HOLLOW METAL DOOR FRAMES INSTEAD OF KNOCK DOWN DOOR FRAMES.
 - OFFICE: PUSH-BUTTON LOCKING, PUSH-BUTTON LOCK OUTSIDE LEVER UNTIL IT IS UNLOCKED WITH A KEY OR BY TURNING INSIDE LEVER, INSIDE LEVER ALWAYS FREE FOR IMMEDIATE EGRESS.

FINISH SCHEDULE											
ROOM NO.	ROOM NAME	FLOOR				WALLS			CEILING		REMARKS
		MATERIAL AND FINISHES	BASE	N	S	E	W	MATERIAL AND FINISHES	HGT.		
101	CIRCULATION	FI	BI	WI	WI	WI	WI	WI	C1	± 9'-6"	-
102	OFFICE	FI	BI	WI	WI	WI	EXG	WI	C1	± 9'-6"	-
103	CIRCULATION	FI	BI	WI	WI	WI	EXG/WI	WI	C1	± 9'-6"	-
104	OFFICE	FI	BI	WI	EXG	WI	EXG/WI	WI	C1	± 9'-6"	-
105	OFFICE	FI	BI	WI	EXG	EXG/WI	WI	WI	C1	± 9'-6"	-

ROOM FINISH SCHEDULE KEY			
FLOOR	BASE	WALL / WAINSCOT	CEILING
FI - CARPET	BI - 4" RUBBER BASE	EXG - EXISTING WALL TO BE PAINTED (EGGSHELL ENAMEL)	C1 - 2x4 LAY-IN CEILING TO MATCH EXISTING (REFER TO THE REFLECTED CEILING PLAN FOR LOCATIONS)
		WI - WALL FINISH TO MATCH EXISTING AND PAINTED (EGGSHELL ENAMEL)	

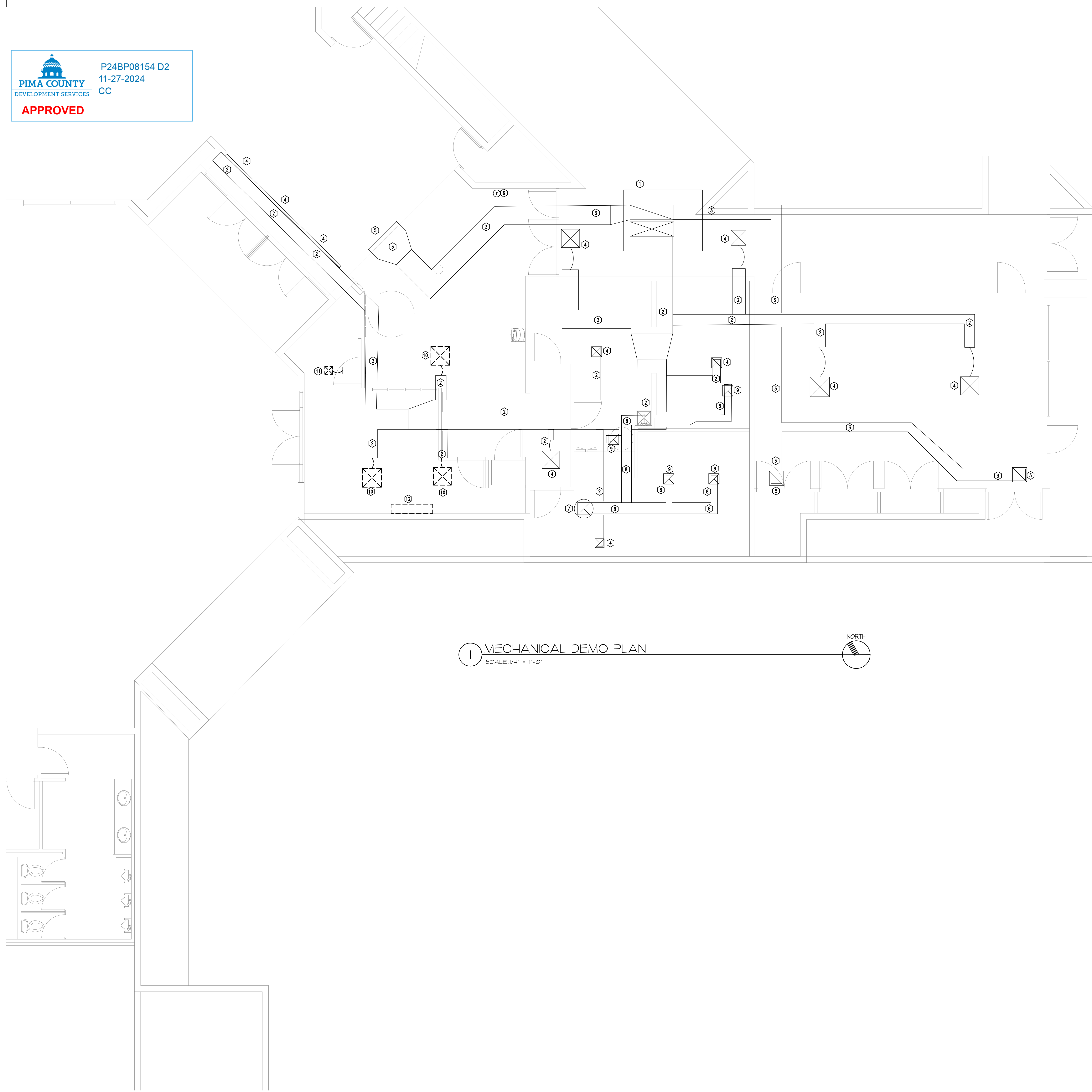
- FINISH MATERIAL GENERAL NOTES**
- PATCH EXISTING FLOORING AS REQUIRED.
 - ALL INTERIOR FINISHES TO COMPLY WITH ALL STATE AND LOCAL BUILDING CODES.
 - SAMPLES OF ALL FINISHES ARE REQUIRED TO BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL WALLS SHALL BE PAINTED AND RECEIVE 1 COAT OF PRIMER AND 2 FINISH COATS OF PAINT.
 - PAINT FINISHES AT THE CEILING SHALL BE FLAT.
 - PAINT FINISHES AT WALLS SHALL BE SHERWIN WILLIAMS SUPERPAINT VELVET.
 - OWNER TO SPECIFY CARPET.

NEW OFFICES - TENANT IMPROVEMENT
DOOR/WINDOW TYPES, DETAILS,
AND DOOR/FINISH SCHEDULES



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- MECHANICAL DEMOLITION PLAN KEYNOTES**
1. EXISTING 12.5-TON ROOFTOP AC UNIT TO REMAIN. VERIFY SMOKE DETECTOR IN RETURN DUCT. CLEAN UNIT AND REPLACE FILTERS. INSPECT EXISTING UNIT AND REPORT ANY DEFICIENCIES TO OWNER. REPAIR OR REPLACE AS REQUIRED.
 2. EXISTING SA DUCT TO REMAIN.
 3. EXISTING RA DUCT TO REMAIN.
 4. EXISTING SA AIR DEVICE AND ASSOCIATED DUCTWORK TO REMAIN.
 5. EXISTING RA AIR DEVICE TO REMAIN.
 6. EXISTING THERMOSTAT TO REMAIN.
 7. EXISTING EXHAUST FAN TO REMAIN. INSPECT FAN AND REPORT ANY DEFICIENCIES TO OWNER. REPAIR OR REPLACE AS REQUIRED. DO NOT RE-BALANCE.
 8. EXISTING EA DUCT TO REMAIN.
 9. EXISTING EA AIR DEVICE TO REMAIN.
 10. RELOCATE EXISTING SA AIR DEVICE TO FIT NEW GRID. SEE NEW WORK PLAN.
 11. REMOVE EXISTING SA AIR DEVICE.
 12. REMOVE EXISTING MINI-SPLIT, CONDENSING UNIT ON ROOF, AND ALL REFRIGERANT PIPING. SALVAGE TO OWNER.

MECHANICAL DEMO PLAN
 SCALE: 1/4" = 1'-0"

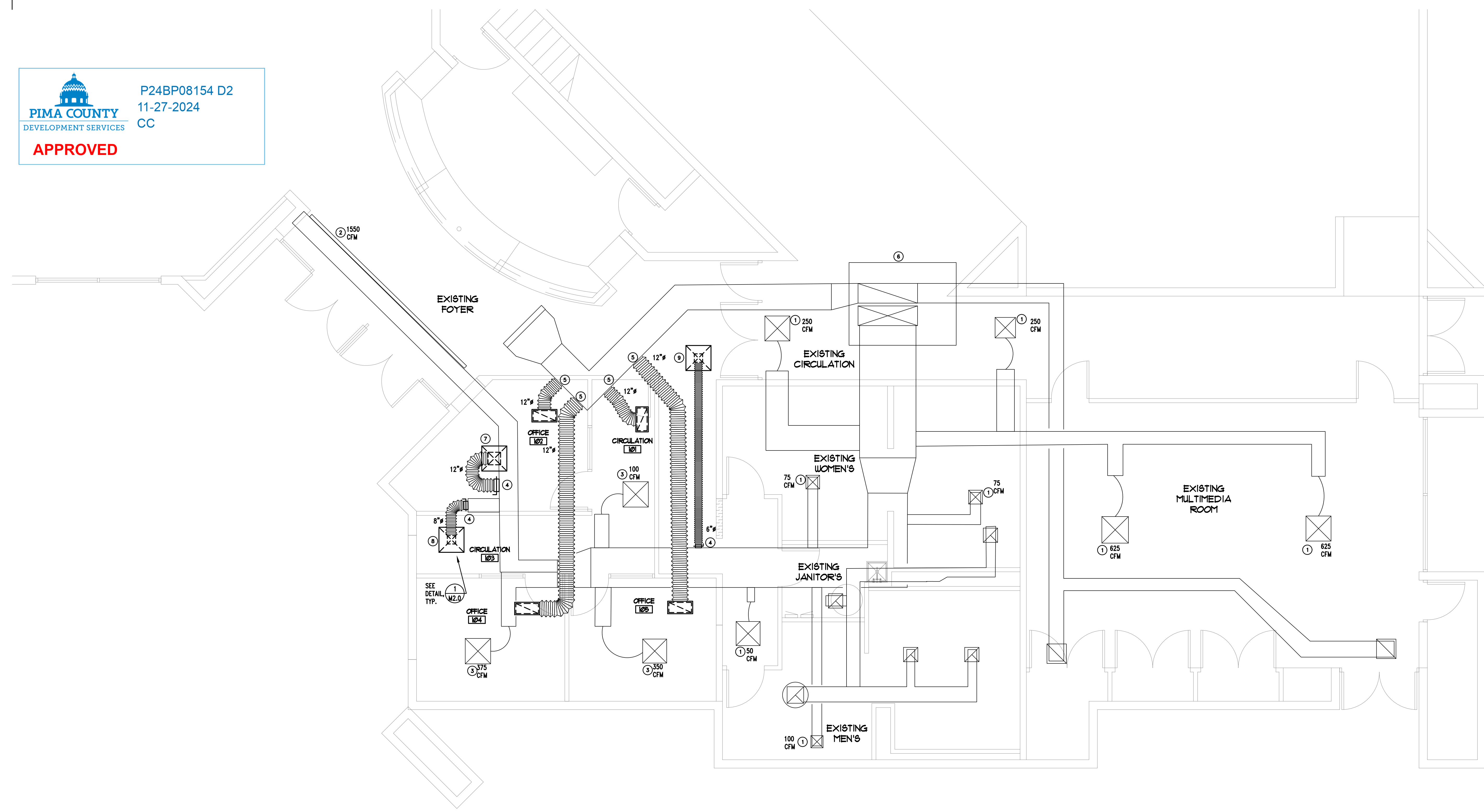
**NEW OFFICES - TENANT IMPROVEMENT
 MECHANICAL DEMOLITION
 PLAN**

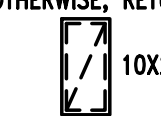


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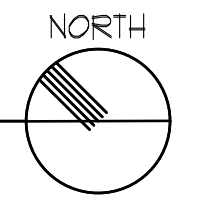
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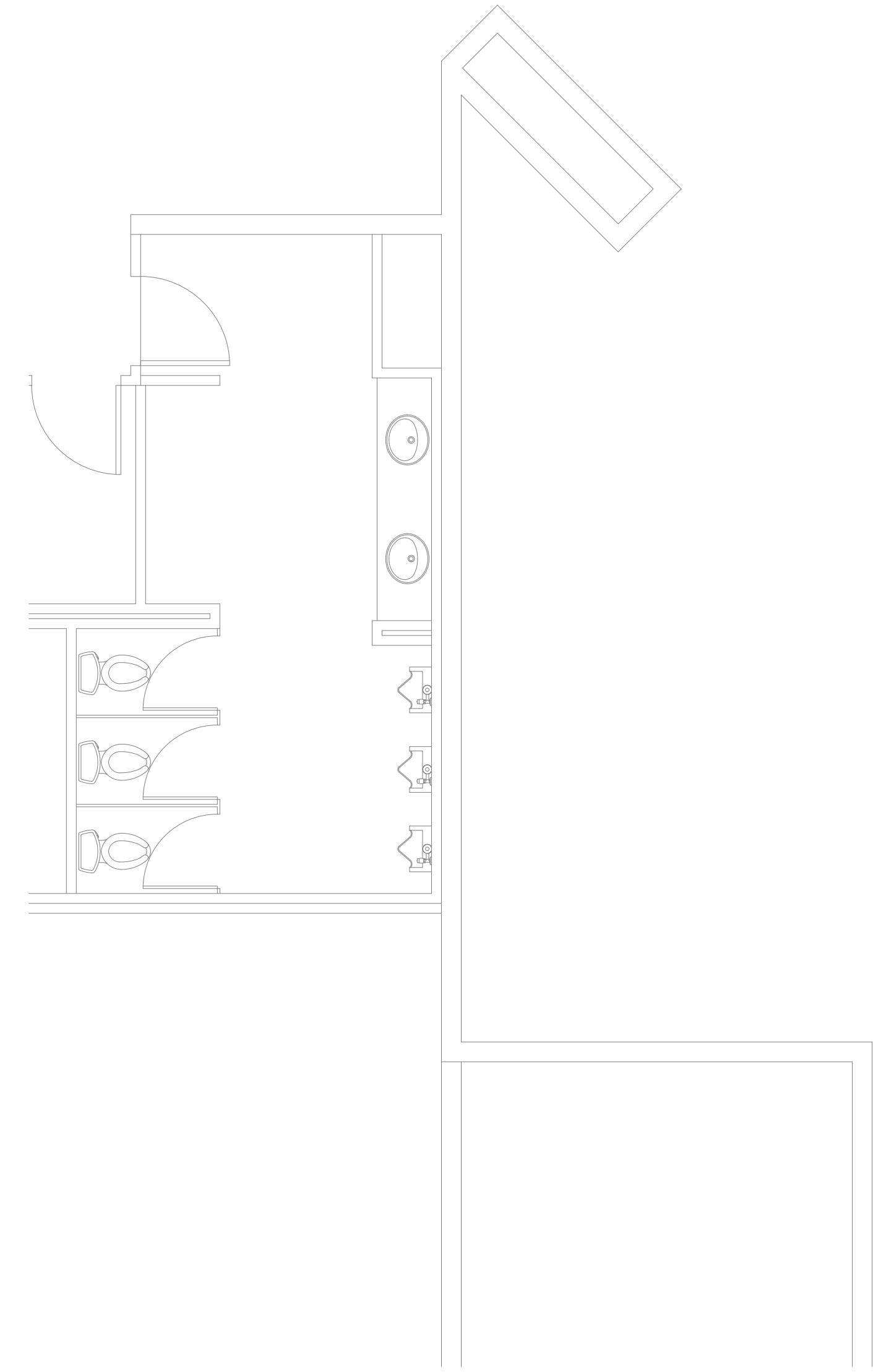
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UNLESS NOTED OTHERWISE, RETURN AIR DEVICES SHALL BE:
 10X22 (B)

- MECHANICAL NEW WORK KEYNOTES**
1. BALANCE EXISTING AIR DEVICE TO AIR FLOW INDICATED.
 2. BALANCE EXISTING LINEAR DIFFUSER TO AIR FLOW INDICATED.
 3. BALANCE RELOCAED AIR DEVICE TO AIR FLOW INDICATED.
 4. NEW FLEX DUCT AND DUCT COLLAR WITH DAMPER CONNECTED TO EXISTING SA DUCT.
 5. NEW FLEX DUCT AND DUCT COLLAR CONNECTED TO EXISTING RA DUCT.
 6. BALANCE EXISTING ROOFTOP AC UNIT TO 5000 CFM AND 500 CFM OSA
 7. 12X12 (A), 450 CFM
 8. 8X8 (A), 75 CFM
 9. 6X6 (A), 50 CFM

1 MECHANICAL NEW WORK PLAN
 SCALE: 1/4" = 1'-0"




NEW OFFICES - TENANT IMPROVEMENT
MECHANICAL NEW
WORK PLAN



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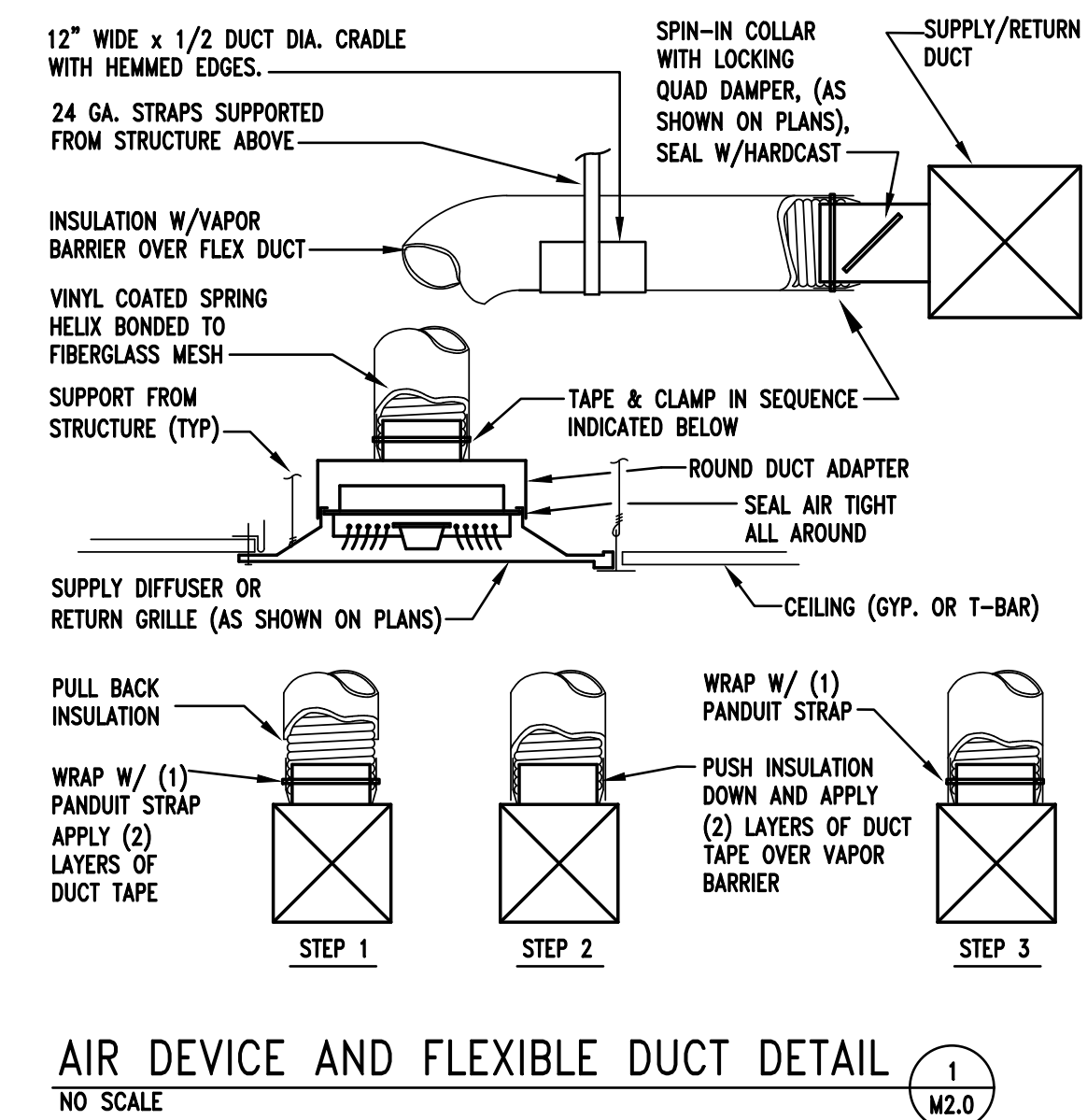
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OUTDOOR AIR CALCULATION													
BUILDING UNIT	ROOM NUM.	ROOM NAME	ZONE FLOOR AREA, Az (SQ.FT.)	CODE	OCCUPANCY CATEGORY, Ra, Rp	ZONE POPULATION Pz	ZONE AIR DISTRIBUTION EFFECTIVENESS, Ez	ZONE SUPPLY AIR FLOW Vpz (CFM)	SYSTEM POPULATION Ps	OUTDOOR AIR INTAKE Vol (CFM)	UNIT (WC OR URINAL) UNIT	REQUIRED EXHAUST VENTILATION (CFM)	NOTES
AC-1		EXISTING FOYER		615	61	ENTRY LOBBIES	6.2		1,550				0
		OFFICE 102		130	63	OFFICE SPACE	0.7		450				0
		CIRCULATION		60	34	CORRIDORS	0.0		175				0
		OFFICE 104		115	63	OFFICE SPACE	0.6		375				0
		HALL		140	62	STORAGE ROOMS	0.3		100				0
		OFFICE 105		115	63	OFFICE SPACE	0.6		350				0
		EXISTING WOMENS		300	126	TOILETS - CONTINUOUS	0.0		150				0
		EXISTING MENS		270	126	TOILETS - CONTINUOUS	0.0		100				0
		EXISTING CIRCULATION		200	34	CORRIDORS	0.0		500				0
		EXISTING MULTIMEDIA		745	65	OFFICE SPACE	3.7		1,250				0
				2,690			12.0	CSCR	5,000	12	234		0

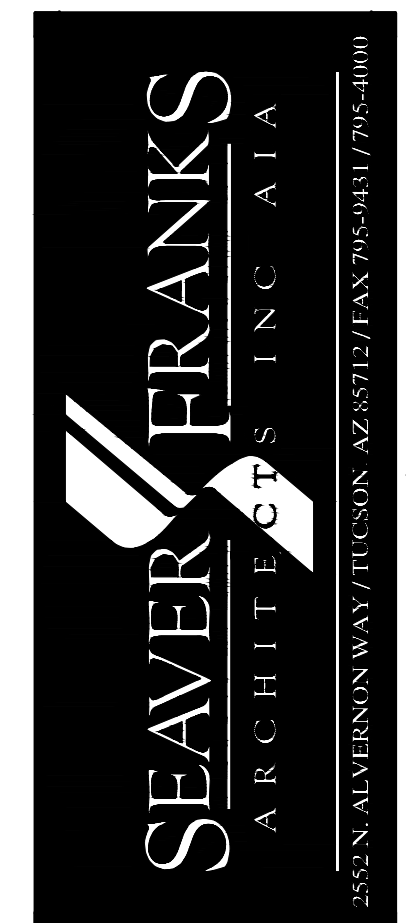
AIR DEVICE SCHEDULE		
MARK	A	B
SERVICE	SUPPLY	RETURN
MATERIAL	STEEL	ALUM
FINISH	WHITE	WHITE
PATTERN	4-WAY	ROUND
REFERENCE	KRUEGER 6204	KRUEGER 1190
NOTES	1,2,3,4	2

MECHANICAL GENERAL NOTES

- COORDINATE ALL MECHANICAL WORK WITH ALL OTHER TRADES. VERIFY ALL EXISTING CONDITIONS BEFORE THE START OF WORK.
- PROVIDE ALL REQUIRED DEMOLITION OF EXISTING MECHANICAL EQUIPMENT, MATERIALS AND OTHER ITEMS WHICH ARE NOT TO BE REUSED IN NEW DESIGN. ALL ITEMS WHICH THE OWNER DOES NOT WISH TO SALVAGE SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
- LINE ALL RECTANGULAR AIR CONDITIONING DUCTWORK WITH 1" THICK DUCT LINER PER SPECIFICATIONS. ALL RECTANGULAR AIR CONDITIONING DUCTWORK EXPOSED TO THE WEATHER SHALL BE LINED WITH 2" THICK DUCT LINER PER SPECIFICATIONS. ALL EVAPORATIVE COOLING DUCTWORK AND ROUND AIR CONDITIONING DUCTWORK NOT INTERNALLY LINED SHALL BE EXTERNALLY WRAPPED WITH INSULATION AS PER SPECIFICATIONS.
- COORDINATE EXACT LOCATION OF ALL AIR DEVICES WITH ARCHITECTURAL REFLECTED CEILING PLAN.
- ALL LOW VOLTAGE CONTROL WIRING AND ITS INSTALLATION TO BE BY MECHANICAL CONTRACTOR. INSTALL PER ELECTRICAL SPECIFICATIONS. MOUNTING HEIGHT OF THERMOSTATS SHALL BE PER ADA REQUIREMENTS.
- PROVIDE SMOKE DETECTOR IN RETURN AIR SYSTEM(S) MOVING MORE THAN 2000 CFM AS INDICATED ON DRAWINGS. RETURN AIR FLEINGS MOVING MORE THAN 2000 CFM REQUIRE A RETURN DUCT SMOKE DETECTOR AT EACH UNIT. SMOKE DETECTORS SHALL DISENGAGE FAN(S) WHEN ACTIVATED. SMOKE DETECTORS INSTALLED IN THE RETURN AIR DUCT(S) MUST BE LOCATED AHEAD OF ANY OUTSIDE AIR INLET.
- MECHANICAL CONTRACTOR SHALL REVIEW ALL ELECTRICAL DRAWINGS BEFORE PURCHASING EQUIPMENT TO INSURE THAT PROPER ELECTRICAL SERVICE IS TO BE PROVIDED FOR ALL NEW EQUIPMENT.



NEW OFFICES - TENANT IMPROVEMENT
MECHANICAL SCHEDULES
& DETAILS

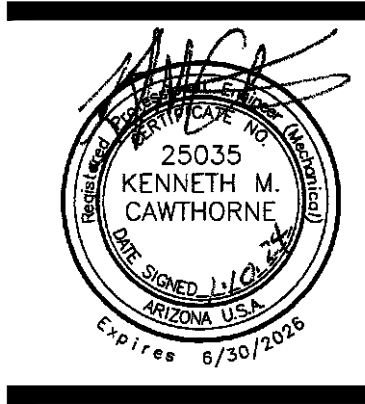


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NEW OFFICES - TENANT IMPROVEMENT
DIVISION 15 SPECIFICATIONS



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MECHANICAL GENERAL REQUIREMENTS

CODES: CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE FOLLOWING CODES: INTERNATIONAL BUILDING CODE (2018 EDITION), INTERNATIONAL MECHANICAL CODE (2018 EDITION), INTERNATIONAL PLUMBING CODE (2018 EDITION), INTERNATIONAL FUEL GAS CODE (2018 EDITION), INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITION) AND THE INTERNATIONAL FIRE CODE (2018 EDITION) AS AMENDED BY THE LOCAL GOVERNING AGENCY.

GENERAL: THE WORK COVERED BY THIS SPECIFICATION SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, LABOR, TRANSPORTATION, TOOLS, PERMITS, FEES, INSPECTIONS, UTILITIES AND INCIDENTALS NECESSARY FOR THE COMPLETE INSTALLATION OF ALL WORK REQUIRED BY THE CONTRACT DRAWINGS.

DRAWINGS: THE DRAWINGS ARE DIAGRAMMATIC IN CHARACTER AND CANNOT SHOW EVERY CONNECTION IN DETAIL OR EVERY PIPE OR DUCT IN ITS EXACT LOCATION. THESE DETAILS ARE SUBJECT TO THE REQUIREMENTS OF ORDINANCES AND ALSO STRUCTURAL AND ARCHITECTURAL CONDITIONS. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE STRUCTURAL AND FINISH CONDITIONS AND SHALL COORDINATE WITH THE SEPARATE TRADES IN ORDER TO AVOID INTERFERENCE BETWEEN THE VARIOUS PHASES OF WORK. WORK SHALL BE LAID OUT SO THAT IT WILL BE CONCEALED IN FURRED CHASES OR ABOVE CEILINGS, ETC., IN FINISHED PORTIONS OF THE BUILDING, UNLESS SPECIFICALLY NOTED OR INDICATED TO BE EXPOSED. WORK SHALL BE INSTALLED TO AVOID CRIPPLING OF STRUCTURAL MEMBERS. ALL WORK SHALL BE RUN PARALLEL OR PERPENDICULAR TO THE LINES OF THE BUILDING UNLESS OTHERWISE NOTED. THE APPROXIMATE LOCATION OF EACH ITEM IS INDICATED ON THE DRAWINGS. THESE DRAWINGS ARE NOT INTENDED TO GIVE COMPLETE AND EXACT DETAILS IN REGARD TO LOCATION. EXACT LOCATIONS ARE TO BE DETERMINED BY ACTUAL MEASUREMENTS OF THE BUILDING.

EQUIPMENT INSTALLATION: PROVIDE AND INSTALL UNIONS AT PROPER POINTS TO PERMIT REMOVAL OF PIPE AND EQUIPMENT WITHOUT DAMAGE TO OTHER PARTS OF THE SYSTEM. ALL EQUIPMENT SHALL BE INSTALLED IN A MANNER TO PERMIT ACCESS TO PARTS REQUIRING SERVICE WITHOUT DISASSEMBLY OF OTHER EQUIPMENT.

EXCAVATION AND BACKFILL: THE CONTRACTOR SHALL PROVIDE ALL EXCAVATION REQUIRED FOR THE INSTALLATION OF THE WORK. CONTRACTOR SHALL BACKFILL, COMPACT AND REPAIR CONCRETE OR PAVING TO MATCH EXISTING FINISH AS CLOSELY AS POSSIBLE.

EXISTING FACILITIES: LOSS OR DAMAGE TO EXISTING FACILITY CAUSED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER. THE CONTRACTOR SHALL COORDINATE ALL WORK REQUIRED IN EXISTING AREAS WITH THE OWNER AND SHALL ARRANGE FOR ALL TEMPORARY UTILITY SERVICES, PROTECTION OF THE FACILITY AND ITS CONTENTS, BARRICADES, SAFETY DEVICES, ETC., REQUIRED TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL REMOVE AND REINSTALL EXISTING CONSTRUCTION IF REQUIRED TO ACCOMPLISH THE WORK. NOTIFY THE OWNER AT LEAST TWO DAYS IN ADVANCE OF ALL REQUIRED SERVICE OUTAGES.

SUBSTITUTIONS: EQUIPMENT OF EQUAL QUALITY TO THAT SPECIFIED MAY BE SUBSTITUTED PROVIDED IT MEETS OR EXCEEDS THE CAPACITY SCHEDULED, IS OF SIMILAR CONSTRUCTION, AND WILL FIT IN THE SPACE ALLOTTED WITH AMPLIFIED SERVICE CLEARANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION WITH ALL OTHER TRADES (SUCH AS ELECTRICAL AND STRUCTURAL) OF ANY PRODUCT REQUIRING A CHANGE IN THE WORK OF THAT TRADE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY ADDITIONAL COSTS ASSOCIATED WITH SUCH A CHANGE. MATERIALS OF CONSTRUCTION SHALL BE AS SPECIFIED.

SUPPORTS, ANCHORS AND SLEEVES: SUPPORT HORIZONTAL PIPING WITH STEEL CLEVIS HANGERS AND VERTICAL PIPING WITH RISER CLAMPS. PROVIDE COPPER PLATED HANGERS AND CLAMPS FOR COPPER PIPING OR WRAP THE COPPER PIPE AT HANGERS WITH TWO LAYERS OF PVC TAPE OR EQUIVALENT. HANGER SPACING AND ROD SIZE SHALL BE IN ACCORDANCE WITH THE LOCAL CODE AND/OR ASHRAE STANDARDS. SUPPORT DUCTWORK IN ACCORDANCE WITH SMACNA STANDARDS. DUCTWORK SHALL BE SUPPORTED INDEPENDENT FROM OTHER DUCTWORK AND EQUIPMENT. PROVIDE MINIMUM 1/8 GAUGE GALVANIZED STEEL SLEEVES FOR DUCTWORK, FLASHINGS, AND ESCUTCHEONS. SEAL ALL WALL, ROOF, AND FLOOR PENETRATIONS. THROUGH PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE PER MANUFACTURER'S UL LISTED DETAILS AND INSTRUCTIONS, EQUAL OF BILT. PIPING SHALL BE PROVIDED WITH STANDARD WEIGHT STEEL PIPE OF SIZE TO PASS PIPE AND INSULATION. PIPE SLEEVES ARE NOT REQUIRED IF PENETRATIONS ARE CORNER DRILLED. PIPING SHALL NOT BE SUPPORTED FROM PENETRATION.

SHOP DRAWINGS: PROVIDE SHOP DRAWINGS AND MANUFACTURER'S DATA ON ALL PLUMBING FIXTURES AND TRIM, EQUIPMENT, MECHANICAL DEVICES AND FIRE PROTECTION SYSTEM FOR APPROVAL.

WARRANTY: PROVIDE TWO YEAR WARRANTY FROM DATE OF FINAL ACCEPTANCE ON ALL LABOR AND MATERIALS PROVIDED UNDER THIS CONTRACT. PROVIDE AN ADDITIONAL FIVE YEAR WARRANTY ON THE MOTOR_COMPRESSOR UNITS FOR ALL AIR CONDITIONING OR HEAT PUMP EQUIPMENT AND WATER HEATERS.

OPERATION AND MAINTENANCE MANUAL: PROVIDE A COMPLETE INDEXED, BOUND MANUAL OF ALL EQUIPMENT REQUIRING MAINTENANCE.

TRAINING: CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO HOURS TRAINING TO THE OWNER ON THE OPERATION OF ALL EQUIPMENT.

CLEAN_UP: CONTRACTOR SHALL MAINTAIN PREMISES IN CLEAN CONDITION AT END OF EACH DAY AND THOROUGHLY CLEAN_UP AT END OF CONSTRUCTION.

FIRE PROTECTION:

GENERAL: THE EXISTING FIRE PROTECTION SYSTEM IS A WET PIPE AUTOMATIC SPRINKLER SYSTEM AND SHALL BE MODIFIED PER THE NEW ARCHITECTURAL FLOOR PLANS AND CEILING PLANS.

QUALITY ASSURANCE: DESIGN INSTALLATION SHALL MEET THE REQUIREMENTS OF NFPA 13, INSURANCE UNDERWRITERS, THE REQUIREMENTS SPECIFIED HEREINAFTER AND THE LOCAL FIRE CODE. THE SYSTEM SHALL BE DESIGNED AND INSTALLED BY A FIRE PROTECTION CONTRACTOR LICENSED IN THE STATE OF ARIZONA AND EXPERIENCED IN THIS TYPE OF SYSTEM DESIGN AND INSTALLATION WITH A MINIMUM OF FIVE YEARS EXPERIENCE. EVIDENCE TO SUPPORT THE ABOVE REQUIREMENTS MAY BE REQUESTED, AND ANY PROPOSED INSTALLER WHO CANNOT SHOW SUITABLE EXPERIENCE WILL BE REJECTED.

ACCEPTABLE MANUFACTURERS: PRODUCTS MANUFACTURED BY AUTOMATIC SPRINKLER, VICTAULIC, GRINNELL, VIKING, CENTRAL, OR APPROVED EQUAL MEETING THESE SPECIFICATIONS ARE ACCEPTABLE.

ALL MATERIALS AND EQUIPMENT USED IN THE INSTALLATION OF THE FIRE PROTECTION SYSTEM SHALL BE LISTED AS APPROVED BY THE UNDERWRITERS LABORATORIES, INC., LIST OF INSPECTED FIRE PROTECTION EQUIPMENT AND MATERIALS, AND THE FACTORY MUTUAL TESTING LABORATORIES LIST OF APPROVED EQUIPMENT. FIRE PROTECTION DEVICES AND DEVICES INVOLVING FIRE HAZARD SHALL BE THE LATEST DESIGN OF THE MANUFACTURER.

SPRINKLER PIPING AND PIPE FITTING:

PIPING: PIPING, FITTINGS, JOINTS, AND INSTALLATION SHALL BE AS SPECIFIED IN NFPA 13.

SPRINKLER HEADS: UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, SPRINKLER HEADS SHALL BE UPRIGHT OR PENDANT, QUICK RESPONSE HEADS EXCEPT THAT SPRINKLER HEADS TO BE INSTALLED IN THE VICINITY OF HEATING EQUIPMENT AND LIGHTS, SHALL BE OF THE TEMPERATURE RATINGS REQUIRED FOR SUCH LOCATIONS BY NFPA 13.

INSTALLATION: THE SPRINKLER SYSTEM SHALL BE DESIGNED AND SIZED BASED ON NFPA 13 REQUIREMENTS.

ACTUAL NUMBER OF SPRINKLER HEADS, HEAD SPACING, PIPE ROUTING, COVERAGE, ETC., AS REQUIRED BY THE APPLICABLE AUTHORITIES AND/OR ARCHITECTURAL AND STRUCTURAL CONDITIONS, SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

HEADS SHALL BE LOCATED IN A SYMMETRICAL PATTERN RELATED TO CEILING FEATURES SUCH AS BEAMS, LIGHT FIXTURES, DIFFUSERS, ETC., AND WHERE APPLICABLE, HEADS SHALL BE LOCATED SYMMETRICAL WITH THE GRID CEILING. HEADS SHALL BE ARRANGED IN A MANNER ACCEPTABLE TO THE ARCHITECT.

THE CONTRACTOR SHALL PROVIDE SPARE HEADS EQUAL TO ONE PERCENT OF THE TOTAL NUMBER OF HEADS INSTALLED UNDER THE CONTRACT, BUT NOT LESS THAN 10.

TESTS: UPON COMPLETION AND PRIOR TO ACCEPTANCE OF THE INSTALLATION, THE CONTRACTOR SHALL SUBJECT THE SYSTEM TO THE TESTS REQUIRED BY THE NFPA 13 AND THE LOCAL FIRE DEPARTMENT.

HEATING, VENTILATING AND AIR CONDITIONING:

DUCTWORK:

DUCT SIZES: DIMENSIONS ON DRAWINGS ARE SHEET METAL DUCT SIZES. DO NOT INCREASE DUCT SIZE FOR ACOUSTICALLY LINED OR INTERNALLY INSULATED DUCTS.

ALL LOW PRESSURE DUCTWORK SHALL BE CONSTRUCTED WITH A MIN. 2" W.G. PRESSURE CLASSIFICATION AND SEAL CLASS C. SEAL ALL TRANSVERSE JOINTS WITH HARDCAST.

DUCT GAUGES: FABRICATION AND SUPPORT SHALL BE IN ACCORDANCE WITH SMACNA STANDARDS.

ROUND DUCTWORK: GALVANIZED STEEL LOCK FORMING QUALITY, MINIMUM 0.028 INCH THICK CONTINUOUS SPIRAL SEAM. FABRICATE ROUND DUCT ELBOWS OF MINIMUM FIVE (5) PIECE CONSTRUCTION.

GALVANIZED DUCTWORK: GALVANIZED STEEL LOCK FORMING QUALITY HAVING ZINC COATING OF 1.25 OUNCES PER SQUARE FOOT FOR EACH SIDE PER ASTM A653. ALL DUCTWORK SHALL BE GALVANIZED UNLESS OTHERWISE NOTED. ALL DUCTWORK EXPOSED TO WEATHER SHALL BE SEALED (JOINTS AND SEAMS) WITH SILICONE SEALANT. ALL DUCTWORK JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS AND CONNECTIONS IN DUCTWORK MUST BE SECURELY SEALED USING WELDMENTS, MECHANICAL FASTENERS WITH SEALS, GASKETS, OR MASTICS; MESH AND MASTIC SEALING SYSTEMS; OR TAPES. TAPES AND MASTICS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL 181A OR UL 181B.

FLEXIBLE DUCTS: FLEXIBLE DUCTS SHALL BE INSULATED (MINIMUM 1" THICK, WITH MINIMUM THERMAL RESISTANCE OF R4.2) AND HAVE A FOIL SCRIM VAPOR BARRIER. FLEXIBLE DUCTWORK SHALL BE LISTED AS UL 181 CLASS 1 FLEXIBLE AIR DUCT AND SHALL COMPLY WITH NFPA STANDARDS. PROVIDE FLEXIBLE DUCTWORK AS MANUFACTURED BY MANVILLE, OWEN CORNING, THERMOFLEX, OR EQUIVALENT.

KITCHEN EXHAUST DUCTWORK: DUCTWORK SHALL BE A MINIMUM OF 1/8 GAUGE BLACK IRON OR 1/8 GAUGE STAINLESS STEEL WITH WELDED JOINTS AND SEAMS. ALL EXPOSED DUCT SHALL BE STAINLESS STEEL. SLOPE DUCTWORK TO HOOD.

DUCT LINER: ALL RECTANGULAR SUPPLY AND RETURN DUCTWORK TO BE INTERNALLY LINED FOR THERMAL AND/OR ACOUSTICAL PURPOSES SHALL BE 1" THICK WITH A MINIMUM THERMAL RESISTANCE OF R4.2, SUITABLE FOR TEMPERATURE RANGE OF 40 F TO 250 F AND MAXIMUM AIR VELOCITY OF 4000 FPM. INSTALL LINER IN ACCORDANCE WITH SMACNA DUCT LINER APPLICATION STANDARD. LINE ALL AIR CONDITIONING DUCTWORK EXTERIOR TO THE BUILDING ENVELOPE WITH 2" THICK DUCT LINER WITH A MINIMUM THERMAL RESISTANCE OF 8.0.

INSULATION: WRAP ALL ROUND SUPPLY AND RETURN DUCTWORK NOT INTERNALLY LINED WITH A MAXIMUM 1-1/2" THICK, FLEXIBLE FIBERGLASS INSULATION HAVING A FACTORY APPLIED FOIL SCRIM KRAFT VAPOR BARRIER. INSULATION SHALL HAVE A MINIMUM THERMAL RESISTANCE OF R4.2 AT 75 F MEAN TEMPERATURE. INSULATION SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. DUCT WRAP SHALL BE INSTALLED SO AS TO PROVIDE A UNIFORM THICKNESS. INSULATION SHALL NOT BE COMPRESSED.

FILTERS: FILTERS SHALL BE 2" THICK PLEATED TYPE, DISPOSABLE, MEDIUM EFFICIENCY, NEW F, CAMFIL FARR 30/30 OR EQUIVALENT. FILTERS SHALL BE IN PLACE WHENEVER SYSTEMS ARE IN OPERATION. CONTRACTOR SHALL PROVIDE AND INSTALL AN ADDITIONAL SET OF FILTERS FOR EACH UNIT AT THE COMPLETION OF PROJECT.

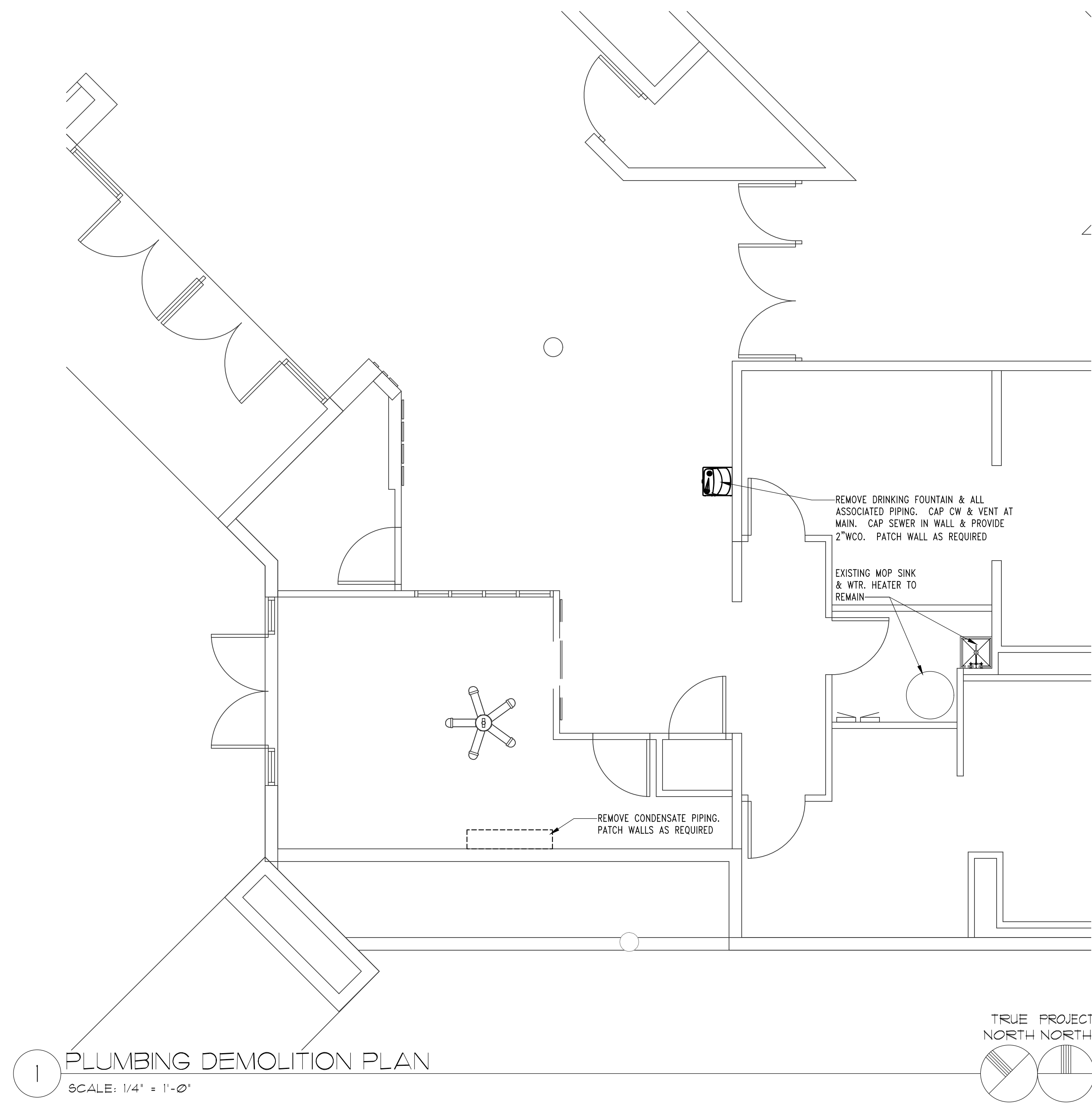
AIR DEVICES: AIR DISTRIBUTION DEVICES SHALL BE AS SCHEDULED ON THE DRAWINGS AND EQUAL TO KRUEGER, TITUS, PRICE, TUTTLE & BAILEY, NAILOR, OR AIR CONCEPTS.

TESTING AND BALANCING: AIR SYSTEMS SHALL BE BALANCED BY CERTIFIED TESTING & BALANCING CONTRACTOR IN ACCORDANCE WITH AABC STANDARDS AND METHODS. SUBMIT AIR BALANCE REPORT ON AABC STANDARD FORMS FOR APPROVAL.



5447 East Fifth Street # 112
Tucson, Arizona 85711
Designers Mech: ROM Plumb: PLZ

520/327-7611
520/327-0432
Project #: 23332

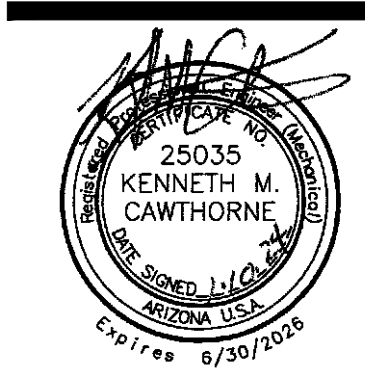


- PLUMBING GENERAL NOTES**
- COORDINATE ALL WORK WITH ALL OTHER TRADES. EXACT ROUTING OF ALL PIPING SHALL BE CAREFULLY COORDINATED WITH ALL STRUCTURAL CONDITIONS.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING PIPING LOCATIONS, SIZES, INVERTS AND DIRECTION OF FLOW BEFORE THE START OF WORK.
 - PROVIDE REQUIRED DEMOLITION OF EXISTING PLUMBING EQUIPMENT, FIXTURES, MATERIALS AND OTHER ITEMS WHICH ARE NOT TO BE REUSED IN NEW DESIGN. ALL ITEMS WHICH THE OWNER DOES NOT WISH TO SALVAGE SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.

PLUMBING SYMBOLS AND LEGEND

	S. SOIL OR WASTE LINE	ABV.	ABOVE
	GW GREASE WASTE LINE	AFF	ABOVE FINISH FLOOR
	V. VENT LINE	A/C	AIR CONDITIONING
	CW COLD WATER LINE	A.D.	ACCESS DOOR
	HW HOT WATER LINE	BEFLR.	BELOW FLOOR
	HWR HOT WATER RETURN LINE	C.I.	CAST IRON
	G. GAS LINE (LOW PRESSURE)	C.F.H.	CUBIC FEET PER HOUR
	MPG MEDIUM PRESSURE GAS	CIG.	CEILING
	HPG HIGH PRESSURE GAS	CONT.	CONTINUATION
	FL FIRE LINE	DN.	DOWN
	PLUG VALVE	EXIST.	EXISTING
	SOV SHUT OFF VALVE (BALL VALVE)	FCO	FLOOR CLEANOUT
	CHECK VALVE	GCO	GRADE CLEANOUT
	UNION	TYP.	TYPICAL
	T&PR TEMPERATURE & PRESSURE RELIEF	UG	UNDERGROUND
	HB HOSE BIBB	VCP	VITRIFIED CLAY PIPE
	WHA WATER HAMMER ARRESTOR	VR	VENT RISER
		VTR	VENT THRU ROOF
		W/	WITH
		WCO	WALL CLEANOUT
		WET-V	WET-VENT

* SOME SYMBOLS MAY NOT APPLY TO THIS PROJECT



REVISIONS

NO.	DATE

**NEW OFFICES - TENANT IMPROVEMENT
 PLUMBING DEMO PLAN**



**GREEN VALLEY RECREATION CENTER
 1111 SOUTH GVR DRIVE
 GREEN VALLEY, ARIZONA 85614**

ISSUE DATE 08-30-2024
 PROJ. NO. 3709.11
 DRG. SCALE AS NOTED

SHEET

SHEET SYMBOLS

(E) INDICATES EXISTING FIXTURE OR DEVICE TO REMAIN. CLEAN, REPAIR OR REPLACE AS REQUIRED.
 (R) INDICATES EXISTING FIXTURE OR DEVICE TO BE RELOCATED AS SHOWN. CLEAN, REPAIR OR REPLACE AS REQUIRED.
 (X) INDICATES EXISTING FIXTURE OR DEVICE TO BE REMOVED. REMOVE EXISTING CONDUCTORS BACK TO NEXT REMAINING DEVICE.
 (N) INDICATES NEW FIXTURE OR DEVICE.

KEYED NOTES:

- 1 NOT IN SCOPE OF WORK.
- 2 EXISTING 6" DOWNLIGHT TO BE DEMO'D. EXISTING CIRCUIT TO BE REUSED FOR NEW LIGHTING. DEMO'D FIXTURE IS A 75.0-WATT PAR30 DOWN LIGHT. TYPICAL OF (1,3). 75 X 13 = 975.0-WATTS REMOVED.
- 3 EXISTING 2' X 4' FLUORESCENT LAYIN FIXTURE TO BE DEMO'D. EXISTING CIRCUIT TO BE REUSED FOR NEW LIGHTING. DEMO'D FIXTURE IS A 64.0-WATT T8 FLUORESCENT LAYIN. TYPICAL OF (3). 64 X 3 = 192.0-WATTS REMOVED.
- 4 CEILING FAN TO BE DEMO'D. LOAD REMOVED 90.0-WATTS.
- 5 ELECTRICAL CONTRACTOR TO DEMO ALL POWER SUPPLIED TO MINI-SPLIT UNIT AND CONDENSING UNIT. DEMO CONDUCTORS AND CONDUIT BACK TO EXISTING PANEL AND LABEL EXISTING CIRCUIT BREAKER AS SPARE. DUE TO IMPROPER PANEL LABELING THROUGH OUT THE BUILDING THE ELECTRICAL CONTRACTOR WILL NEED TO DETERMINE THE EXISTING PANEL FEEDING THIS MINI-SPLIT. ONCE THIS PANEL IS LOCATED THE ELECTRICAL CONTRACTOR TO LABEL PANEL 'B' AS PER 2017 NEC 110.22(A) AND 408(A)(2).



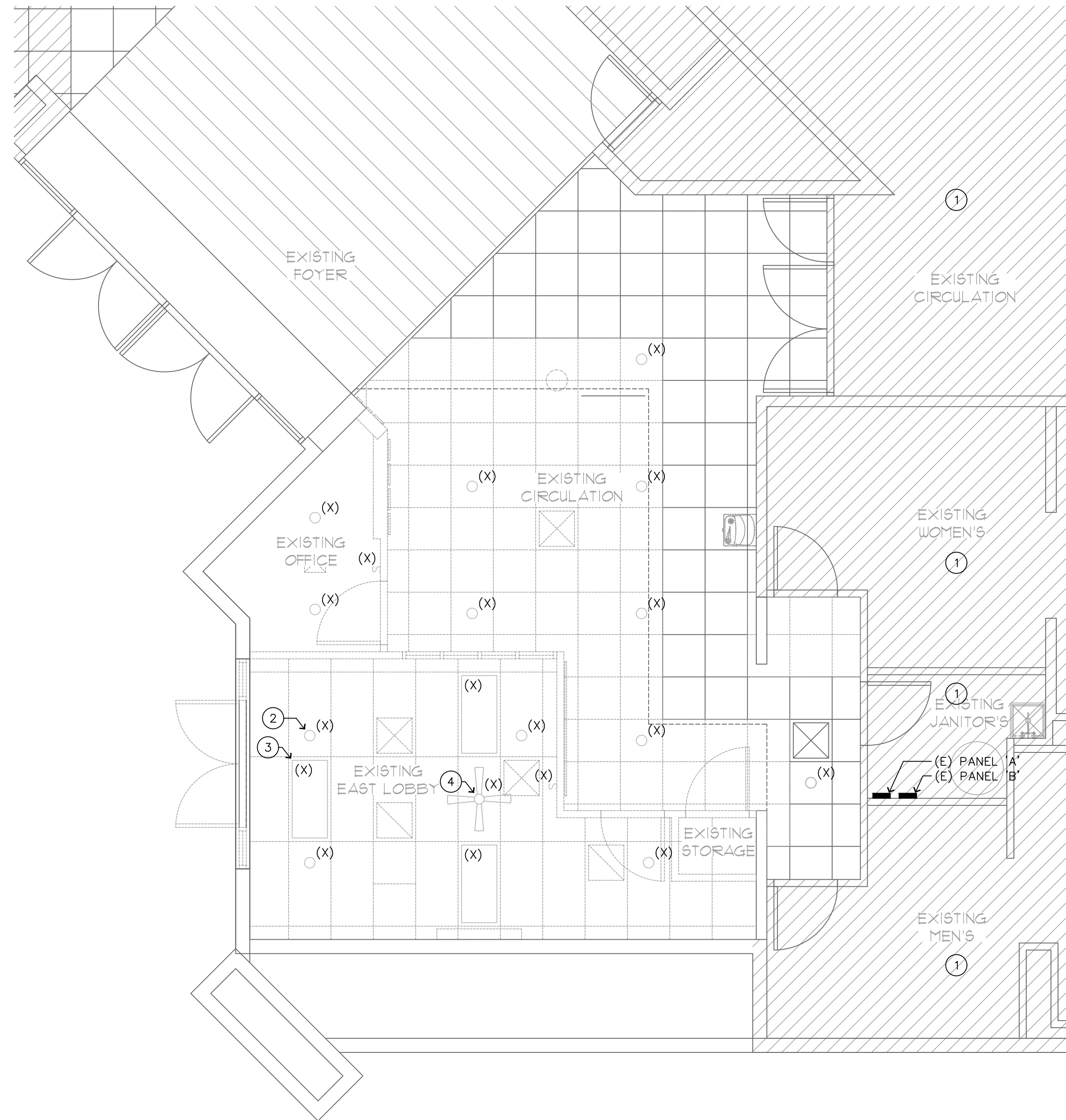
REVISIONS

NO.	DATE

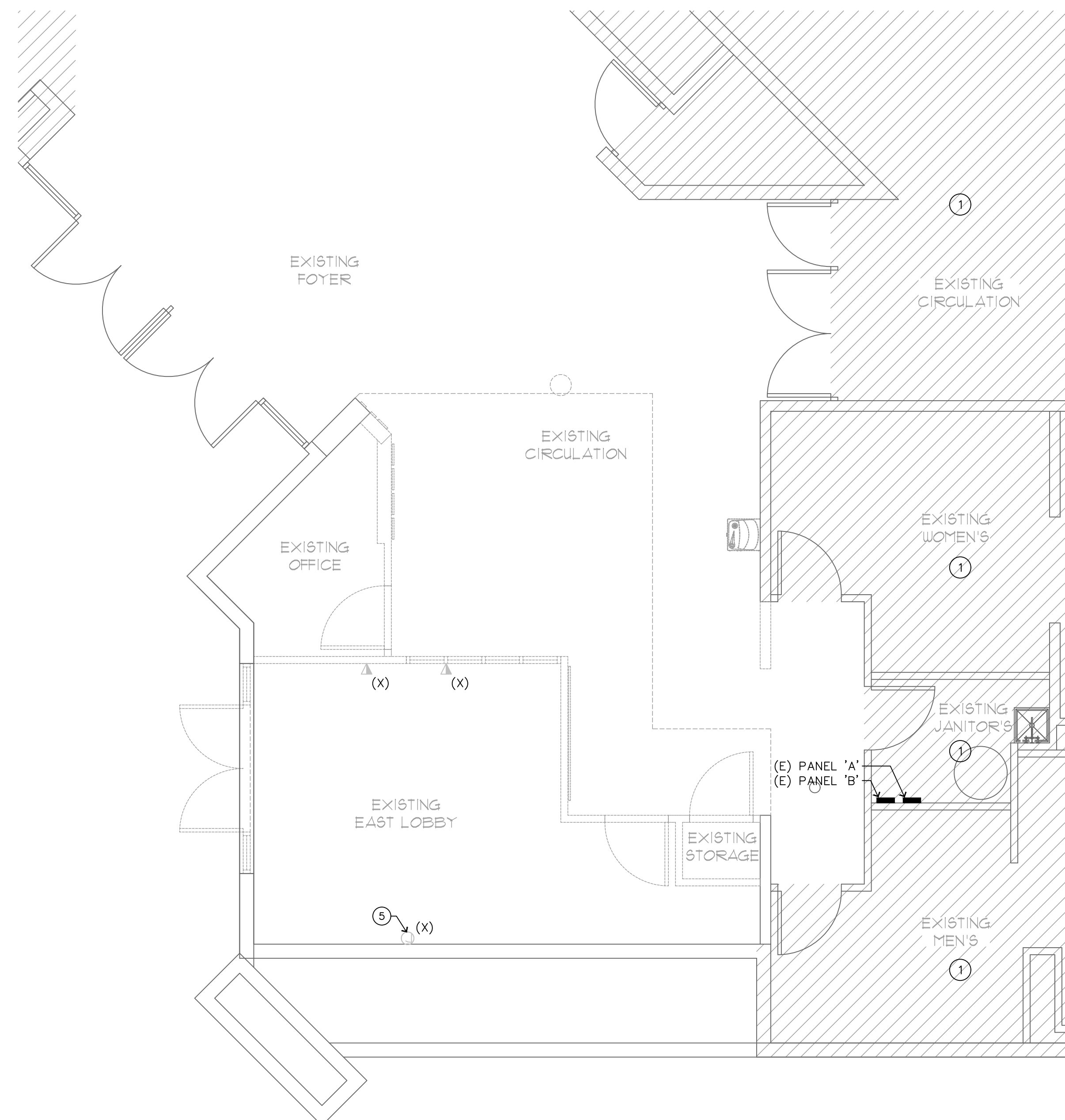
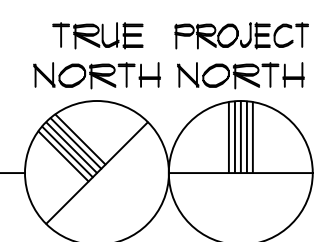
**NEW OFFICES - TENANT IMPROVEMENT
 ELECTRICAL DEMO PLANS**



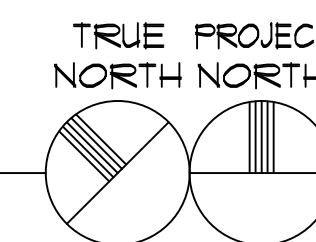
**GREEN VALLEY RECREATION CENTER
 1111 SOUTH GVR DRIVE
 GREEN VALLEY, ARIZONA 85614**



1 DEMO LIGHTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 DEMO POWER FLOOR PLAN
SCALE: 1/4" = 1'-0"





DIGITAL NAVIGATION Defining Time Right Location Sensor Switch 800 Performance Data

FEATURES & SPECIFICATIONS

FEATURES - The BTL Series is a Value Line Profile LED Downlight... compared to traditional sources... The profile BTL design is 2.5" deep... and is designed for American installation.

Form with fields for Catalog Number, Name, Type (TYPE 'A'), and other details.



2BLT4 LED fixture specifications: 2' x 4' LED, ADF Diffuser Option, Ribbed Reflector Option.



Specifications: Length: 47.3/4 (121.2), Width: 23.3/4 (60.3), Depth: 2.5 (63.5), Weight with supply fixture: 2.3/4 (6.9).

Embed in Light controls today. Prepare for tomorrow. Includes sections for User-friendly install, Enhanced energy savings, Code compliance, Scalability, Space configuration, and Future-ready.

Capable Luminaire: This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with Acuity Brands' lighting control systems.

Acuity Brands' lighting control systems: This luminaire is compatible with Acuity Brands' lighting control systems, including the Acuity iDMS and Acuity iDMS Pro.

Acuity iDMS: This luminaire is compatible with Acuity iDMS lighting control systems, including the Acuity iDMS Pro and Acuity iDMS Pro Plus.

Acuity iDMS Pro Plus: This luminaire is compatible with Acuity iDMS Pro Plus lighting control systems, including the Acuity iDMS Pro Plus and Acuity iDMS Pro Plus Plus.

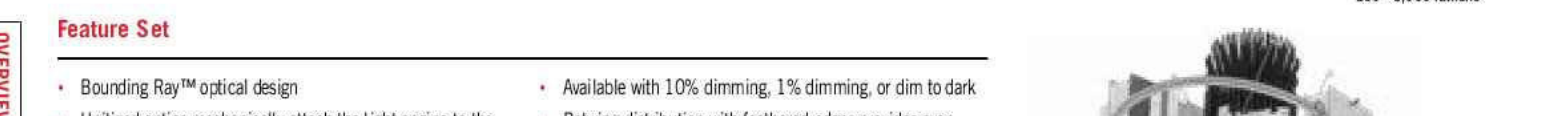
Acuity iDMS Pro Plus Plus: This luminaire is compatible with Acuity iDMS Pro Plus Plus lighting control systems, including the Acuity iDMS Pro Plus Plus and Acuity iDMS Pro Plus Plus Plus.

Acuity iDMS Pro Plus Plus Plus: This luminaire is compatible with Acuity iDMS Pro Plus Plus Plus lighting control systems, including the Acuity iDMS Pro Plus Plus Plus and Acuity iDMS Pro Plus Plus Plus Plus.



Multiple Layers of Light

General Illumination Round Downlight 6"

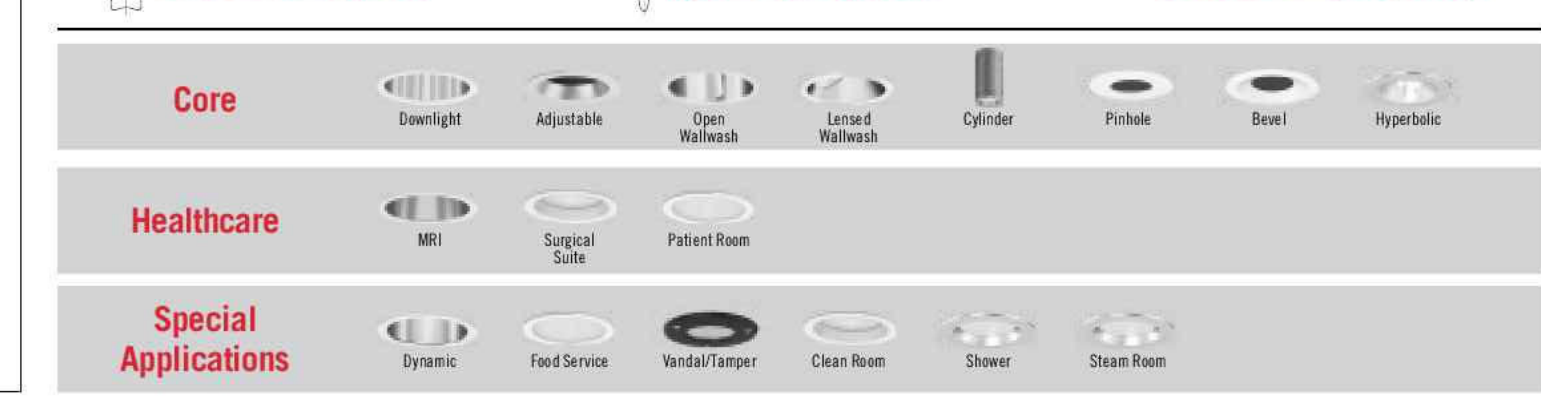


Feature Set: Boasting Ray™ optical design, Uniform optics mechanically attach the light engine to the lower reflector for complete optical alignment.

Distribution: Very Narrow (NND) 5.3-5.8H, Narrow (ND) 8.7-9.8H, Medium (MD) 10.2-10.8H, Medium Wide (MWD) 11.2-11.8H, Wide (WD) 12.2-12.8H.

Superior Performance table with columns for lumens, wattage, and beam spread.

Coordinated Apertures | Multiple Layers of Light: General Illumination Layer | EVO, High Center Beam Layer | Incto, EVO + Incto - Multiple Layers of Light.



EVIS-OPEN page 1 of 8 | © 2013-2023 Acuity Brands Lighting Inc. All Rights Reserved. Rev. 10/23/23

SHEET SYMBOLS

- (E) INDICATES EXISTING FIXTURE OR DEVICE TO REMAIN. CLEAN, REPAIR OR REPLACE AS REQUIRED. (R) INDICATES EXISTING FIXTURE OR DEVICE TO BE RELOCATED AS SHOWN. CLEAN, REPAIR OR REPLACE AS REQUIRED.

KEYED NOTES:

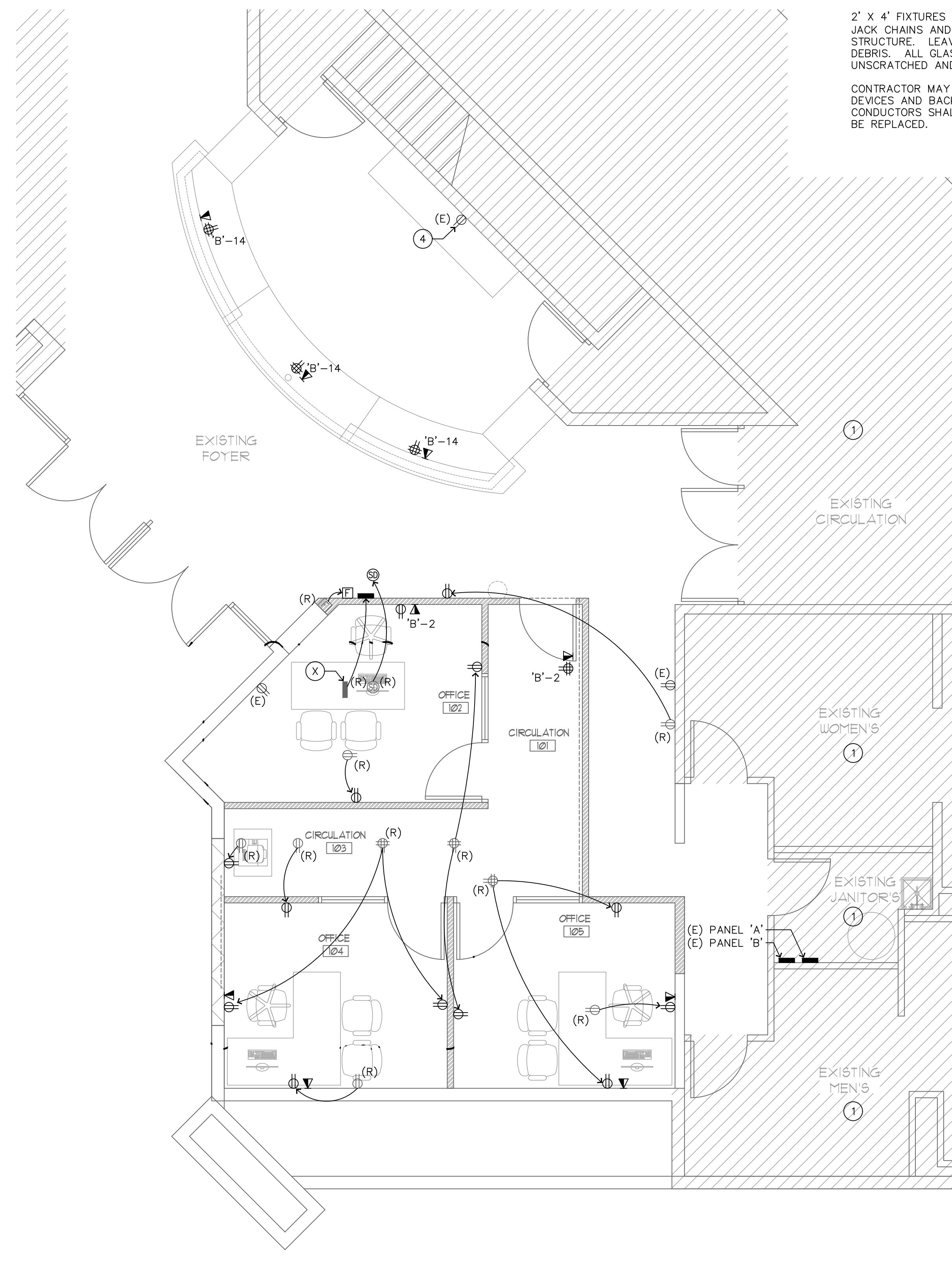
- 1 NOT IN SCOPE OF WORK. 2 THE NEW CORRIDOR LIGHTING INTO EXISTING LIGHTING CIRCUIT AND CONTROLS. DEMO'D CORRIDOR LIGHTING IS EQUAL TO (5) X 75-WATT = 375.0-WATTS INCANDESCENT DOWN LIGHTING.

GENERAL NOTES:

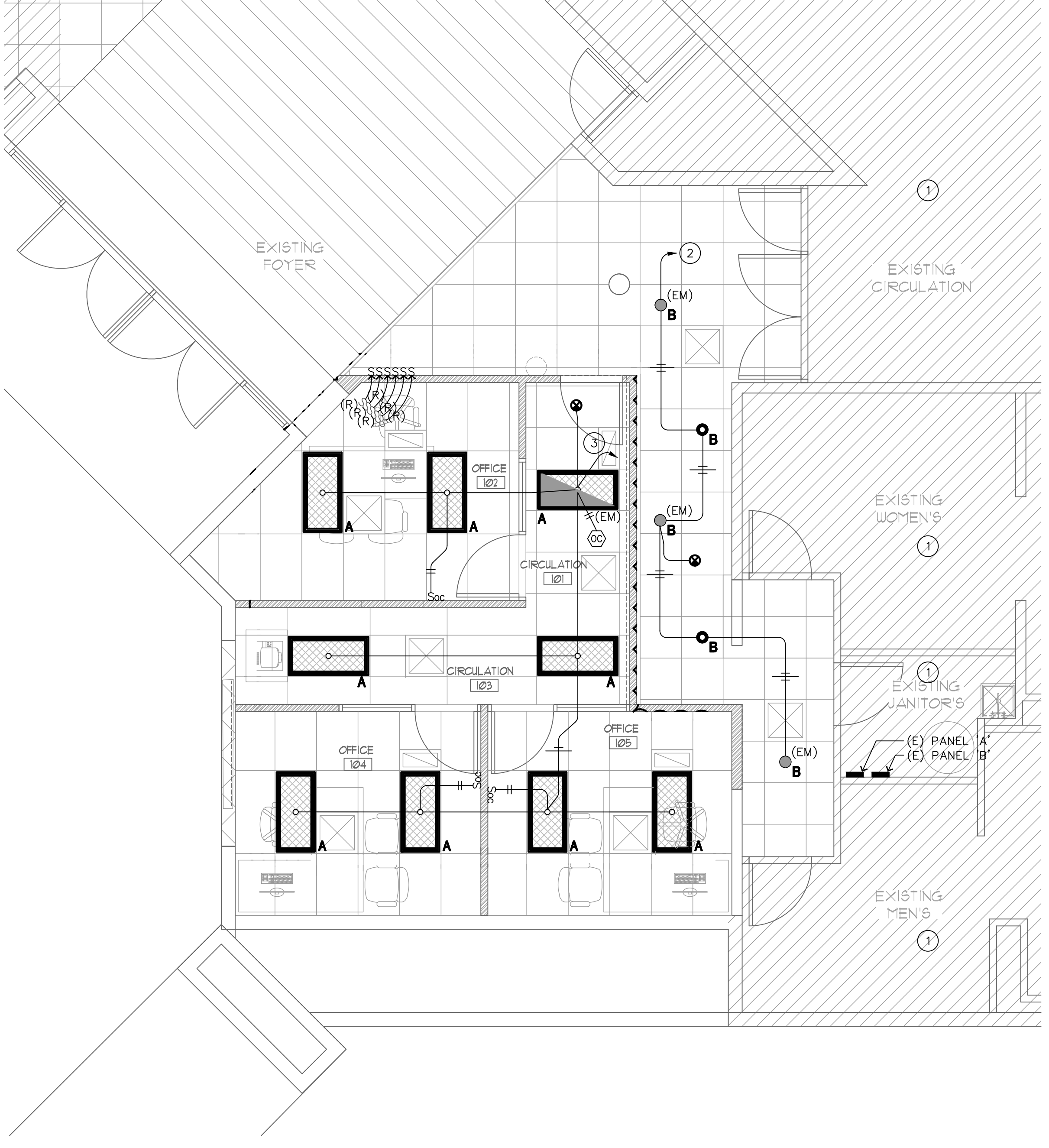
ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH 2017 (OR LATEST ADOPTED) NATIONAL ELECTRICAL CODES AND ALL APPLICABLE LOCAL CODES, ORDINANCES AND TOWN OF GREEN VALLEY AMENDMENTS TO N.E.C.

LIGHT FIXTURE SCHEDULE

Table with columns: MARK, DESCRIPTION, MFR, CATALOG #, VOLT, LAMPS TYPE, REMARKS. Includes items A (2' x 4' LED LAYIN RECESSED FIXTURE) and B (6" LED DOWNLIGHT).



1 POWER FLOOR PLAN SCALE: 1/4" = 1'-0"



1 LIGHTING FLOOR PLAN SCALE: 1/4" = 1'-0"



REVISIONS TABLE

NEW OFFICES - TENANT IMPROVEMENT ELECTRICAL POWER PLAN AND LIGHTING PLAN



GREEN VALLEY RECREATION CENTER 1111 SOUTH GVR DRIVE GREEN VALLEY, ARIZONA 85614

ISSUE DATE 08-30-2024 PROJ. NO. 3120311 DRG. SCALE AS NOTED

SHEET

E1.0



Job No. 23075 p.602-400-1792 • jeff@ccec.com 5551 White Mountain Road, #2-538, Show Low, AZ 85901

COMcheck Software Version 4.1.5.5
Interior Lighting Compliance Certificate

Project Information
Energy Code: 2018 IECC
Project Title: GREEN VALLEY RECREATION CENTER - GUEST SERVICES T.1
Project Type: Alteration

Construction Site: 1111 SOUTH GVR DRIVER, GREEN VALLEY, AZ 85614
Owner/Agent:
Designer/Contractor: JEFF CLARK, CC ELECTRICAL CONSULTING, LLC, 5551 S. WHITE MOUNTAIN ROAD, #2-538, SHOW LOW, AZ 85601, 602-400-1792, JEFF@CCECAZ.COM

Area Category	B		C		D	
	Area	Floor Area (ft ²)	Allowed Watts / ft ²	Allowed Watts / ft ²	Allowed Watts / ft ²	Allowed Watts (B X C)
1-OFFICE (Common Space Types: Office - Enclosed): Exempt						N/A
Total Allowed Watts =						N/A

Area Category Exemption Qualifications	# Fixtures		Total # Watts	
	Pre-Alt.	Repl./Added	Pre-Alt.	Post-Alt.
OFFICE (Common Space Types: Office - Enclosed) 713 sq.ft. Exemption: Replacement of bulbs and ballasts only.			1167,000	544,000

Activity Area	B		C		D		E	
	Area	Floor Area (ft ²)	Allowed Watts / ft ²	Allowed Watts / ft ²	Allowed Watts / ft ²	Allowed Watts / ft ²	Allowed Watts (B X C)	Allowed Watts (D X E)
OFFICE (Common Space Types: Office - Enclosed) 713 sq.ft. Exemption: Replacement of bulbs and ballasts only.								
Total Proposed Watts =						N/A		

Interior Lighting PASSES

Interior Lighting Compliance Statement
Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the inspection (Checklist).
JEFF CLARK, PROJECT MANAGER
Signature: [Signature] Date: 08/23/2024

Project Title: GREEN VALLEY RECREATION CENTER - GUEST SERVICES T.1 Report date: 08/23/24
Data filename: Z:\Shared\jobs\2023\jobs\23075 - Green Valley Guest Services\23075 JOB FILE\comcheck.cck Page 1 of 4

Section # & Req. ID	Final Inspection	Complies?	Comments/Assumptions
C408.1.1 (FS7)1	Building operations and maintenance documents will be provided to the owner. Documents will cover manufacturers' information, specifications, programming procedures and means of illustrating to owner how building, equipment and systems are intended to be installed, maintained, and operated.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: GREEN VALLEY RECREATION CENTER - GUEST SERVICES T.1 Report date: 08/23/24
Data filename: Z:\Shared\jobs\2023\jobs\23075 - Green Valley Guest Services\23075 JOB FILE\comcheck.cck Page 3 of 4

COMcheck Software Version 4.1.5.5
Inspection Checklist

Energy Code: 2018 IECC
Requirements: 0.0% were addressed directly in the COMcheck software.
Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req. ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.6 (EL26)1	Low-voltage dry-type distribution electric transformers meet the minimum efficiency requirements of Table C405.6.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.7 (EL27)1	Electric motors meet the minimum efficiency requirements of Tables C405.7(1) through C405.7(4). Efficiency verified through certification under an approved certification program or the equipment efficiency ratings shall be provided by motor manufacturer (where certification programs do not exist).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.8.2 (EL28)1	Escalators and moving walks comply with ASME A17.1/CSA B44 and have automatic controls configured to reduce speed to the minimum permitted speed in accordance with ASME A17.1/CSA B44 or applicable local code when not conveying passengers.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.9 (EL29)1	Total voltage drop across the combination of feeders and branch circuits <= 5%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
Project Title: GREEN VALLEY RECREATION CENTER - GUEST SERVICES T.1 Report date: 08/23/24
Data filename: Z:\Shared\jobs\2023\jobs\23075 - Green Valley Guest Services\23075 JOB FILE\comcheck.cck Page 2 of 4

PANEL LEGEND:

- INDICATES EXISTING CIRCUIT BREAKER & LOAD.
- INDICATES NEW CIRCUIT BREAKER & LOAD.
- INDICATES CIRCUIT BREAKER WITH "LOCK-OFF" DEVICE.
- INDICATES EXISTING CIRCUIT BREAKER W/CHANGED LOAD.
- ▲ INDICATES CIRCUIT THRU
- ▲ MISCELLANEOUS.
- * INDICATES CONTINUOUS LOAD TAKEN @ 125% PER N.E.C.

EXISTING FULLY RATED PANEL ①

PANEL	B	100 AMP	120/208V., 3Ø, 4W	MAIN	100 M.L.O.	NEMA	1	SURF	MTG
LOCATION	SEE PLAN								
USE/AREA SERVED	CB No.	A	LOAD	B	C	No	CB	USE/AREA SERVED	
*○ LTG-EXTERIOR CRAFTS BLDG.	29	1	1920	2	29			REC - OFFICE	
SPARE	29	3	540	4	29			LTG - COLUMN SCNCES	
*○ LTG - COLUMN SCNCES	29	4	1500	5	29			LTG - PARKING LOT (S.)	
*○ LTG - EXTERIOR ASSEMB.	29	7	1000	8	29			LTG - GROUNDS (REAR)	
*○ LTG - EXTERIOR ASSEMB.	29	9	2000	10	29			SPARE	
*○ LTG - EXTERIOR ASSEMB.	29	11	1500	12	29			SPARE	
SPARE	29	13	1080	14	29				
*○ LTG - GROUNDS (FRONT)	29	15	2000	16	29				
	29	17	2000	18	29				
TOTAL (CONNECTED)						5430	7000	9000	
25 % CONTINUOUS						1355	1750	2250	
TOTAL (NEW CONNECTED)						1620	-	-	1620 VA / 120V. = 13.5 ▲
TOTAL (CODE)						7315	8750	11250	11250 VA / 120V. = 93.8 ▲

① KEYED NOTES:
① ELECTRICAL CONTRACTOR TO LABEL PANEL 'B' AS PER 2017 NEC 110.22(A) AND 408(A)(2).



REVISIONS
NO. DATE

NEW OFFICES - TENANT IMPROVEMENT
COMCHECK AND PANEL
SCHEDULE



GREEN VALLEY RECREATION CENTER
1111 SOUTH GVR DRIVE
GREEN VALLEY, ARIZONA 85614

ISSUE DATE 08-30-2024
PROJ. NO. 372311
DRG. SCALE AS NOTED

SHEET

E2.0

